

GoTriangle RFQ 24-048

Exhibit C

BOMF Site Additions 2008

(13 pages - including this page)

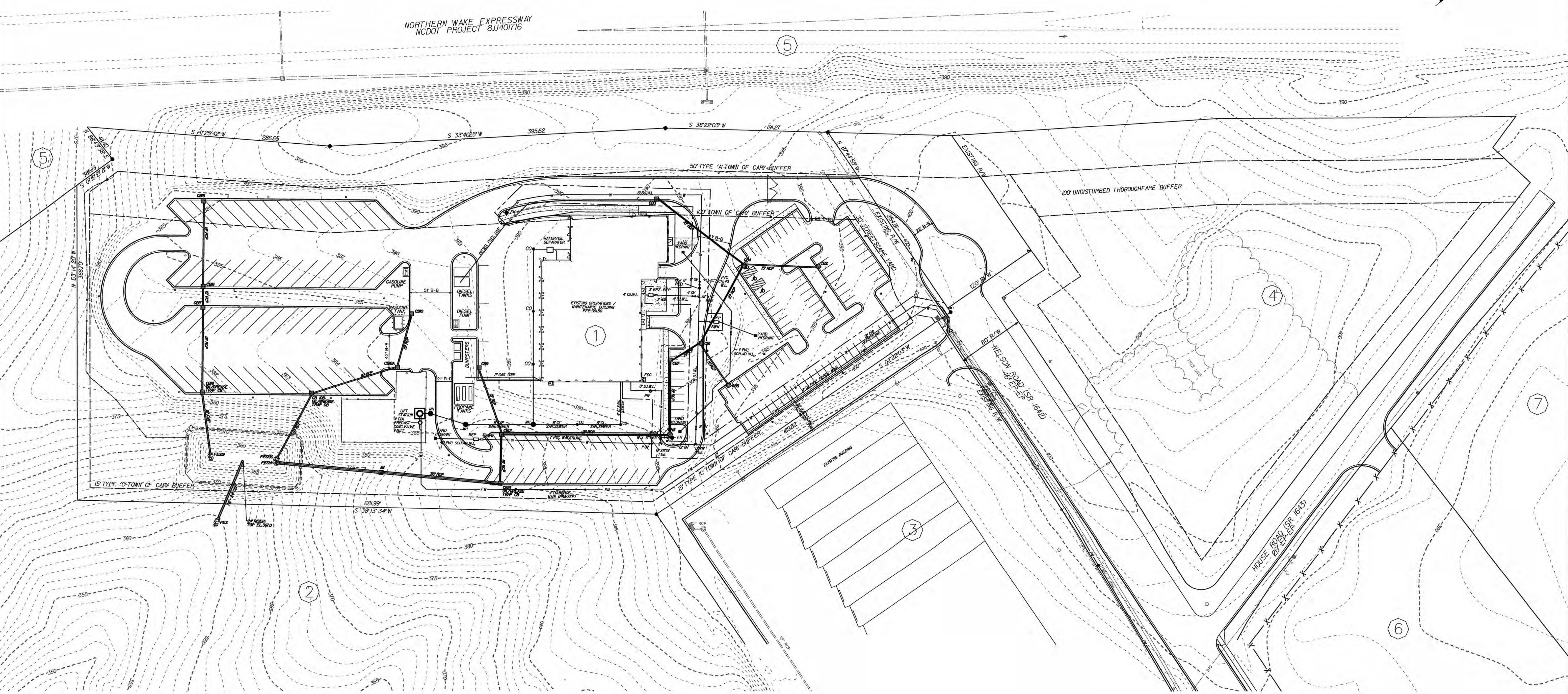
① REID: 0245586
 OWNER: RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 ADDR1: PO BOX 13787
 ADDR2: RTP NC 27709-3787
 DEED BOOK: 08143
 DEED PAGE: 2240
 DEED ACRES: 9.02
 BLDG VAL: 0
 LAND VAL: 441126
 DESCRIPTION: PROL A PROP RAL/DRHM ARPT AUTH BM98-1668
 MAP NAME: 075701
 PIN NUM: 0757361310
 TOWNSHIP: CEDAR FORK
 TYPE USE: Vacant
 LAND CLASS: EXEMPT
 ZONING: ORD

② REID: 0102676
 OWNER: RALEIGH DURHAM INTERNATIONAL AIRPORT
 ADDR1: PO BOX 80001
 ADDR2: RALEIGH NC 27623-0001
 DEED PAGE: 0000
 DEED ACRES: 4790.07
 BLDG VAL: 211550663
 LAND VAL: 311354550
 DESCRIPTION: RALEIGH-DURHAM INT'L AIRPORT 03-766-772
 MAP NAME: 076703
 PIN NUM: 0767324317
 TOWNSHIP: CEDAR FORK
 TYPE USE: Manufacturing
 LAND CLASS: EXEMPT
 ZONING: AD-II

③ REID: 0326286
 OWNER: NCVA GENERAL PARTNERS I
 ADDR1: 7511 CORTLANDT PL
 ADDR2: NORFOLK VA 23505-2919
 DEED BOOK: 05436
 DEED PAGE: 0021
 DEED ACRES: 4.56
 BLDG VAL: 2235869
 LAND VAL: 297951
 DESCRIPTION: LT 2 AIRPORT DISTRIBUTION CNTR BM90-1358
 MAP NAME: 075701
 PIN NUM: 0757366542
 TOWNSHIP: CEDAR FORK
 TYPE USE: Bulk Distribution Warehouse.
 LAND CLASS: COMMERCIAL
 ZONING: PEC

④ REID: 0092222
 OWNER: RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 ADDR1: PO BOX 13787
 ADDR2: DURHAM NC 27709-3787
 DEED BOOK: 08238
 DEED PAGE: 0291
 DEED ACRES: 4.81
 BLDG VAL: 0
 LAND VAL: 314286
 DESCRIPTION: ROMB TRIANGLE TRANSIT AUTHORITY BM99-132
 MAP NAME: 075701
 PIN NUM: 0757366932
 TOWNSHIP: CEDAR FORK
 TYPE USE: Vacant
 LAND CLASS: EXEMPT
 ZONING: ORD

⑤ REID: N/A
 OWNER: DEPARTMENT OF TRANSPORTATION
 ADDR1: 1 S WILMINGTON ST
 ADDR2: RALEIGH NC 27601-1453
 DEED BOOK: 06700
 DEED PAGE: 0705
 DEED ACRES: 10.6
 BLDG VAL: 0
 LAND VAL: 461736
 DESCRIPTION: COMSTOCK RD
 MAP NAME: 075701
 PIN NUM: 0757254377
 TOWNSHIP: CEDAR FORK
 TYPE USE: Vacant
 LAND CLASS: EXEMPT
 ZONING: ORD



TTA
 ADDITIONS TO
 MAINTENANCE
 FACILITY

NELSON ROAD
 CARY, NORTH CAROLINA



**MOSER
 MAYER
 PHOENIX**
 ASSOCIATES, PA
 328 E. Market Street
 Suite 200
 Greensboro, N.C. 27401
 Telephone 336-373-5800
 Fax 336-373-0977

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MULKEY
 ENGINEERS & CONSULTANTS
 PO BOX 33127
 RALEIGH, N.C. 27636
 (919) 851-1912
 (919) 851-1915 (FAX)
 WWW.MULKEYINC.COM



REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE: 06-09-05
 PROJECT NO.: 200514100
 SCALE: 1" = 60'
 DRAWN BY: CMW

EXISTING
 CONDITIONS
C-1

EXISTING STORM DRAIN DESIGN

LOCATION	PIPE LENGTH	INLET ELEV.	OUTLET ELEV.	S	DIA.	T.C. ELEV.
FROM POINT TO POINT	ft.			ft/ft	in.	
2	4	85	390.00	0.92	15	394.00
3*	4*	130	392.20	0.95	15	396.70
4	1	100	396.32	0.11	15	391.60
1*	7*	36	395.01	0.94	15	399.30
5	1	60	391.00	0.97	15	393.80
7	8	87	394.01	0.99	18	399.20
8*	12*	198	393.03	0.79	18	390.50
9	12	62	393.50	0.99	15	398.50
10	100	65	392.00	0.93	15	396.50
10*	10*	105	390.30	0.75	15	386.80
10*	10*	65	390.70	0.90	15	393.70
12*	12*	57	379.30	0.74	24	383.00
13	43	140	378.30	0.74	36	383.00
14	14	100	390.00	0.90	15	393.70
15*	15*	97	391.00	0.95	15	394.70
16	17	25	390.30	0.78	15	384.10
17	18	97	377.80	0.77	36	381.60
18	19	45	370.50	0.99	18	381.60

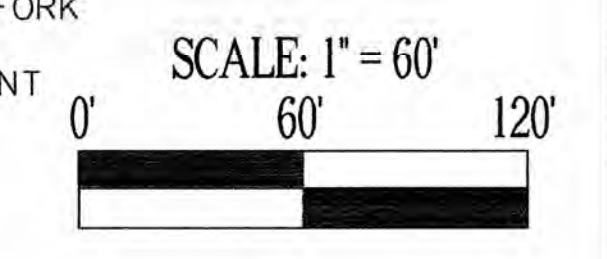
NOTES:
 PIPE FROM 3 TO 4 IS CLASSIV RCP
 PIPE FROM 1 TO 7 IS CLASSIV RCP
 PIPE FROM 8 TO 12 IS CLASSIV RCP
 PIPE FROM 12 TO 13 IS CLASSIV RCP
 PIPE FROM 18 TO 19 IS CMP

Cary Project Number 05-SP-08
**APPROVED
 TOWN OF CARY**

NOTES:
 - SURVEY OF MAINTENANCE SITE PARCEL BY MULKEY ENGINEERS AND CONSULTANTS.
 - SUBJECT PROPERTY DESCRIBED BY FEMA MAP # 37183C0115 E.

⑥ REID: 0048960
 OWNER: TRANSPORT INTERNATIONAL POOL INC
 ADDR1: PO BOX 1050
 ADDR2: DEVON PA 19333-0950
 DEED BOOK: 07459
 DEED PAGE: 0017
 DEED DATE: 5/12/1997
 DEED ACRES: 4.62
 BLDG VAL: 269577
 LAND VAL: 301870
 DESCRIPTION: SURVEY FOR TIP TRACT
 MAP NAME: 075701
 PIN NUM: 0757460992
 TOWNSHIP: CEDAR FORK
 TYPE USE: Prefab Warehouse.
 LAND CLASS: COMMERCIAL
 ZONING: ORD

⑦ REID: 0159070
 OWNER: TRANSPORTATION INTERNTL POOL INC
 ADDR1: 426 W LANCASTER AVE
 ADDR2: DEVON PA 19333-1510
 DEED BOOK: 07459
 DEED PAGE: 0013
 DEED DATE: 5/12/1997
 DEED ACRES: 3.46
 BLDG VAL: 0
 LAND VAL: 226077
 DESCRIPTION: SURVEY FOR TIP TRACT
 MAP NAME: 075701
 PIN NUM: 0757379268
 TOWNSHIP: CEDAR FORK
 TYPE USE: Vacant
 LAND CLASS: VACANT
 ZONING: ORD





ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD CARY, NORTH CAROLINA



MOSER MAYER PHOENIX ASSOCIATES, PA

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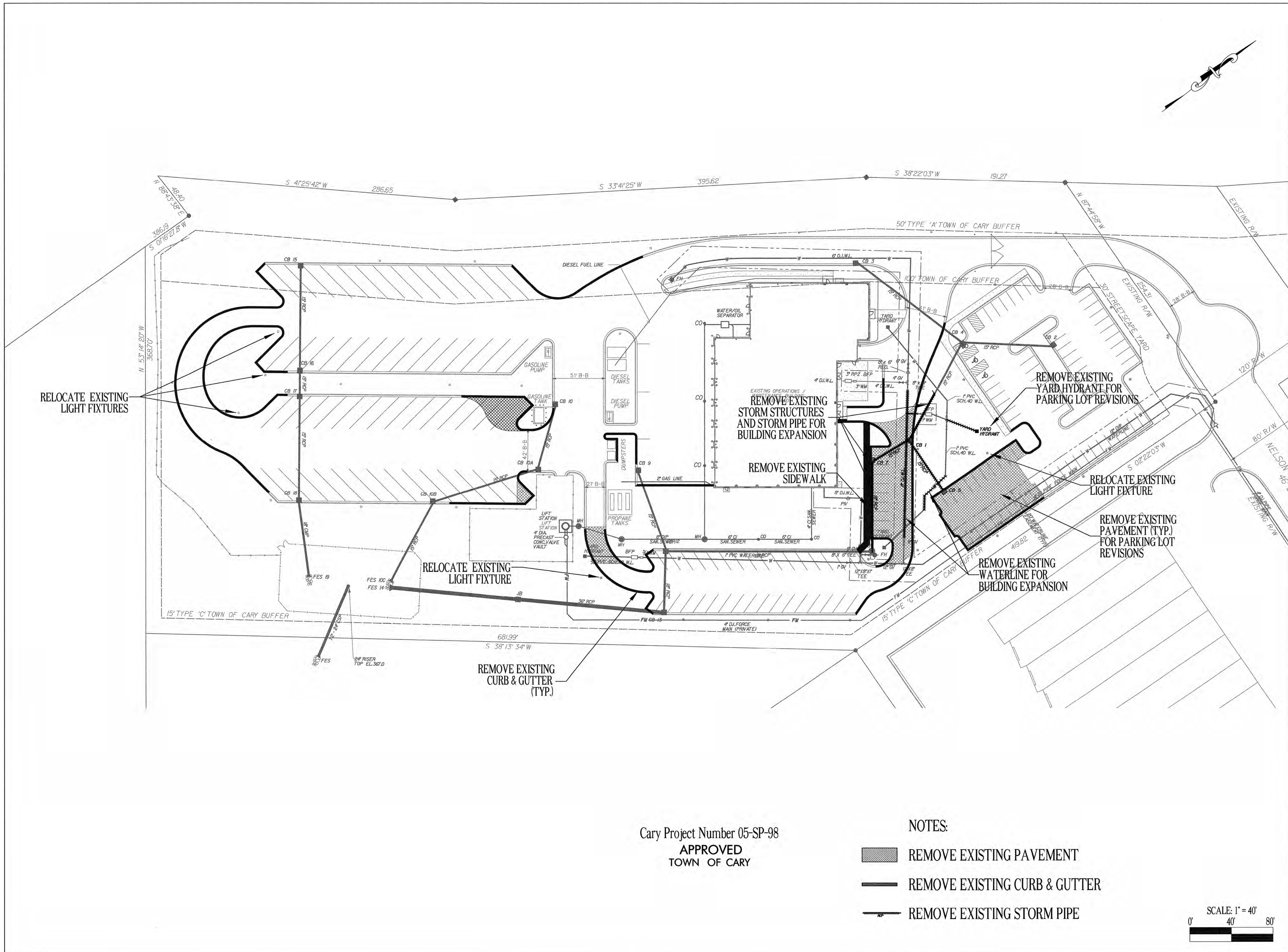
MULKEY ENGINEERS & CONSULTANTS



Table with columns: NO., DATE, DESCRIPTION. Revisions table showing one revision on 04-28-06 for FINAL CONSTRUCTION DRAWINGS.

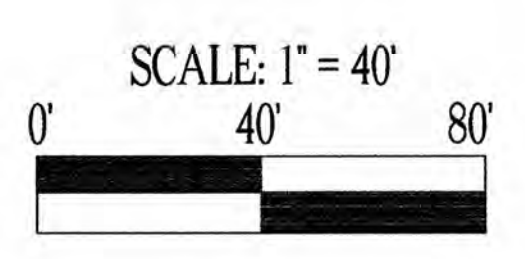
DEMOLITION PLAN

C-2



Cary Project Number 05-SP-98 APPROVED TOWN OF CARY

- NOTES:
- REMOVE EXISTING PAVEMENT
- REMOVE EXISTING CURB & GUTTER
- REMOVE EXISTING STORM PIPE



GENERAL NOTES:

- NO CHANGES TO ANY ASPECT OF THIS PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, I.E. BUFFER TYPE A, B, C, 30' STREETScape BUFFER, THE CARY SITE INSPECTION RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5' OF A SIDEWALK.
- NO TREE SHALL BE LOCATED WITHIN 10' OF A LIGHTING LOCATION.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON SITE ELECTRIC CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE IN THE SIDE OR REAR YARD & SHALL BE SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- ALL VEHICULAR USE AREAS (DRIVES AND PARKING AREAS) SHALL BE SCREENED FROM OFFSITE VIEWS.
- ALL SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS AND ALL ROADWAY CONSTRUCTION WITH CURRENT NCDOT STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST COMPLY WITH NC STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- ANY RETAINING WALLS ON THE SITE OVER 5' HIGH REQUIRE A BUILDING PERMIT.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.

- ALL ADJACENT STREETS IN THE VICINITY OF THIS PROJECT SHALL BE KEPT CLEAN AT ALL TIMES WITH RESPECT TO CONSTRUCTION TRAFFIC. IF THEY ARE NOT, A WASH STATION WILL BE REQUIRED.
- THE TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO THE ISSUANCE OF A GRADING PERMIT FOR THIS PROJECT.
- THIS PROJECT DRAINS TO AN UNNAMED TRIBUTARY OF STIRRUP IRON CREEK.
- APPROVED, STAMPED AND SIGNED BUILDING ELEVATIONS FROM THIS SITE PLAN MUST BE INCORPORATED IN THE BUILDING PERMIT PLANS.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
- PROPOSED DENUDED AREA = 3.18 AC.
- BIKE RACKS WILL BE INCORPORATED INTO THE SITE IN CONFORMANCE WITH THE ASSOCIATION OF PEDESTRIAN AND BICYCLE PROFESSIONALS BICYCLE PARKING GUIDELINES ADOPTED SPRING 2002.

SITE DATA

PROPERTY OWNER...RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 PROPERTY ADDRESS...5201 NELSON ROAD (MAINT. SITE), 5210 NELSON ROAD (VACANT LOT)
 CARY PROJECT # 05-SP-088
 PIN #...0245586 (MAINTENANCE SITE), 0092222 (VACANT LOT)
 ZONING...ORD (BOTH PARCELS)

5201 NELSON ROAD (MAINT. SITE)		5210 NELSON ROAD (VACANT LOT)	
PRE-DEVELOPMENT:		POST-DEVELOPMENT:	
TOTAL ACRES	9.02 AC	TOTAL ACRES	9.02 AC
IMPERVIOUS ACRES	4.30 AC	IMPERVIOUS ACRES	5.09 AC
PERVIOUS ACRES	4.72 AC	PERVIOUS ACRES	3.93 AC
%IMPERVIOUS	47.7%	%IMPERVIOUS	56.4%

PROPOSED PUBLIC UTILITIES

8" WATERLINE 165 L.F.

PARKING (MAIN COMPLEX)

EMPLOYEE:	57
EXISTING TO REMAIN:	2
PROPOSED SPACES:	59
TOTAL:	61
HANDICAP SPACES:	3

BUS/VAN:	52
BUS PARKING:	20
VAN PARKING:	20
TOTAL BUS/VAN:	72

PARKING (OVERFLOW LOT)

EMPLOYEE:	47
PHASE 1B PROPOSED SPACES:	126
FUTURE SPACES:	173
TOTAL:	246

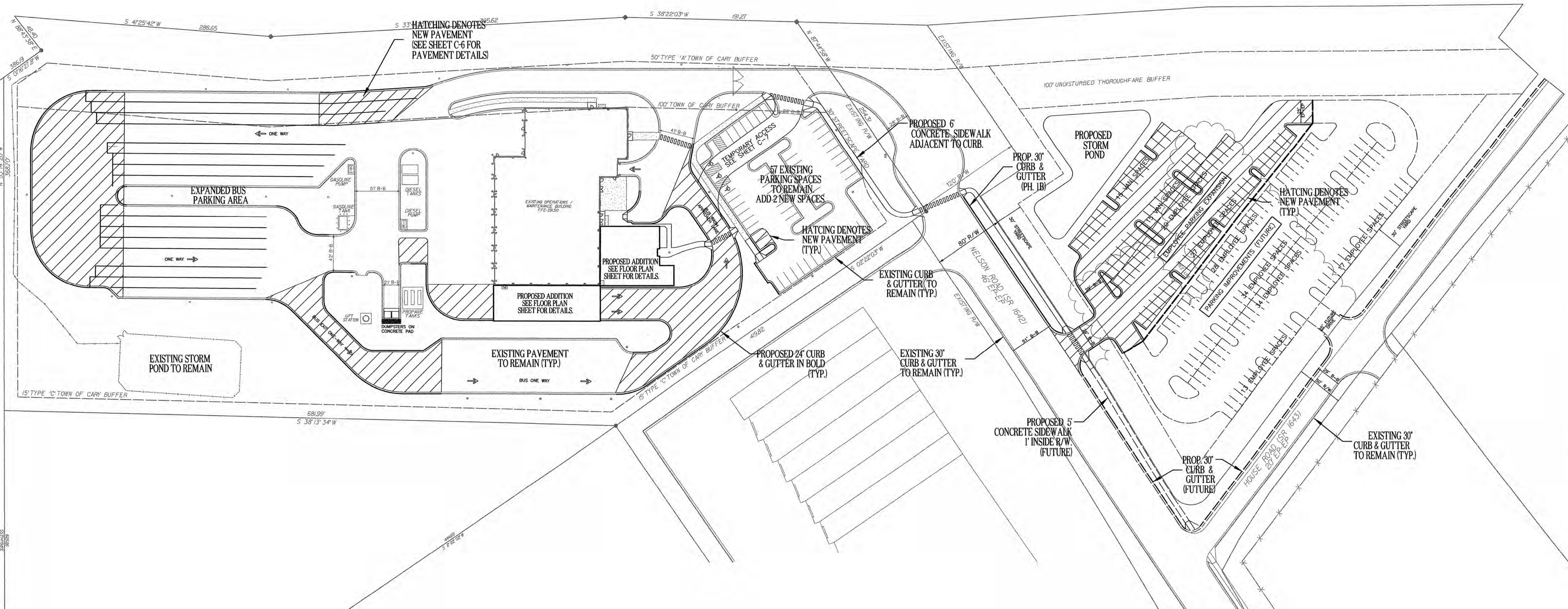
VAN:	30
PHASE 1B PROPOSED SPACES:	0
FUTURE SPACES:	30
TOTAL:	30

NOTES

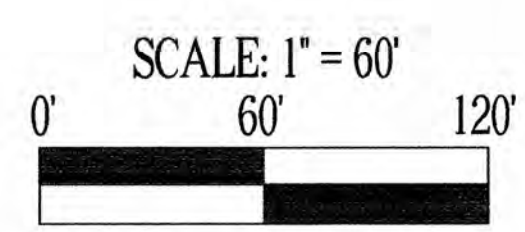
These notes set forth here shall apply to each and every sheet.
 All site construction shall be in accordance with Town of Cary standards and specifications details and all road construction shall be per NCDOT Standards and Specifications details.
 The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

PARKING REQUIREMENTS

EXISTING GROSS FLOOR AREA:	15,726 SF
PROPOSED GROSS FLOOR AREA:	2,737 SF
TOTAL GROSS FLOOR AREA:	18,463 SF
PARKING SPACES REQ. (1200 SF):	92 SPACES
PARKING SPACES PROVIDED:	106 SPACES
(EXISTING + PHASE 1B)	



Cary Project Number 05-SP-98
APPROVED
 TOWN OF CARY



ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
 CARY, NORTH CAROLINA

COMPLETE FACILITIES SOLUTIONS

MOSER MAYER PHOENIX ASSOCIATES, PA

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 Suite 200
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 RALEIGH, N.C. 27636
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 (919) 851-1918 (FAX)
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REVISIONS

NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE: 06-09-05
 PROJECT NO.: 2005141.00
 SCALE: 1" = 60'
 DRAWN BY: CMW

SITE PLAN OVERALL

C-3

GENERAL NOTES:

- NO CHANGES TO ANY ASPECT OF THIS PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, I.E. BUFFER TYPE A, B, C, 30' STREETSCAPE BUFFER, THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANNING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
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- ALL WORK MUST COMPLY WITH NC STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- ANY RETAINING WALLS ON THE SITE OVER 5' HIGH REQUIRE A BUILDING PERMIT.
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- PROPOSED DENIED AREA = 3.18 AC.

SITE DATA

PROPERTY OWNER...RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 PROPERTY ADDRESS...5201 NELSON ROAD (MAINT. SITE), 5210 NELSON ROAD (VACANT LOT)
 CARY PROJECT # 05-SP-098
 PIN #...0245586 (MAINTENANCE SITE), 0092222 (VACANT LOT)
 ZONING...ORD (BOTH PARCELS)

5201 NELSON ROAD (MAINT. SITE)
 PRE-DEVELOPMENT:
 TOTAL ACRES 9.02 AC
 IMPERVIOUS ACRES 4.30 AC
 PERVIOUS ACRES 4.72 AC
 %IMPERVIOUS 47.7%

5210 NELSON ROAD (VACANT LOT)
 PRE-DEVELOPMENT:
 TOTAL ACRES 4.81 AC
 IMPERVIOUS ACRES 0.00 AC
 PERVIOUS ACRES 4.81 AC
 %IMPERVIOUS 0.00%

POST-DEVELOPMENT:
 TOTAL ACRES 9.02 AC
 IMPERVIOUS ACRES 5.09 AC
 PERVIOUS ACRES 3.93 AC
 %IMPERVIOUS 56.4%

POST-DEVELOPMENT:
 TOTAL ACRES 4.81 AC
 IMPERVIOUS ACRES 1.78 AC
 PERVIOUS ACRES 3.03 AC
 %IMPERVIOUS 36.9%

PARKING (MAIN COMPLEX)

EMPLOYEE:
 EXISTING TO REMAIN: 57
 PROPOSED SPACES: 2
 TOTAL: 59
 TOTAL HC SPACES: 3

BUS/VAN:
 BUS PARKING: 52
 VAN PARKING: 20
 TOTAL BUS/VAN: 72

PARKING (OVERFLOW LOT)

EMPLOYEE:
 PHASE 1B PROPOSED SPACES: 47
 FUTURE SPACES: 126
 TOTAL: 173

VAN:
 PHASE 1B PROPOSED SPACES: 30
 FUTURE SPACES: 0
 TOTAL: 30

NOTES

These notes set forth here shall apply to each and every sheet.

All site construction shall be in accordance with Town of Cary standards and specifications details and all road construction shall be per NCDOT Standards and Specifications details.

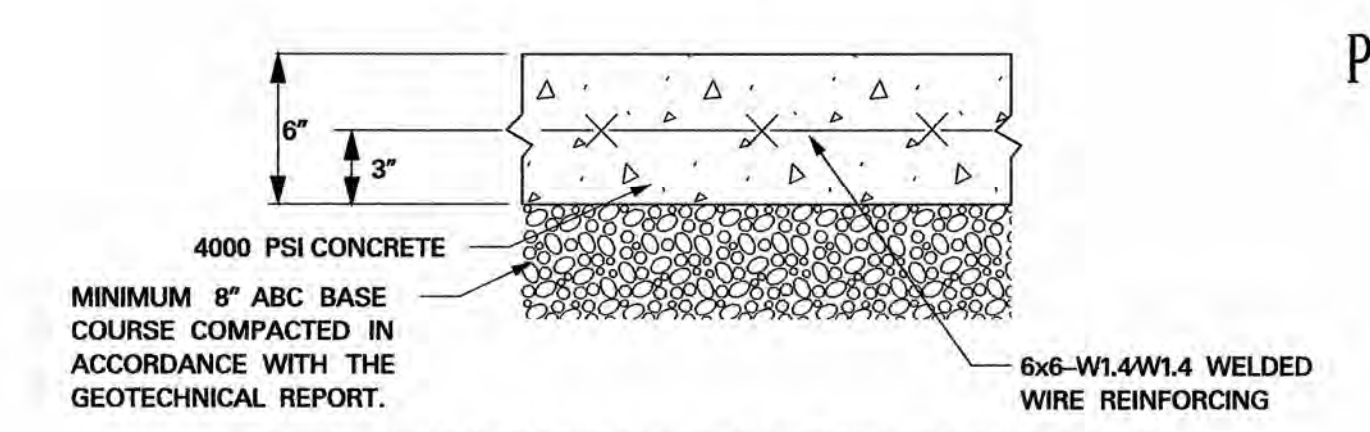
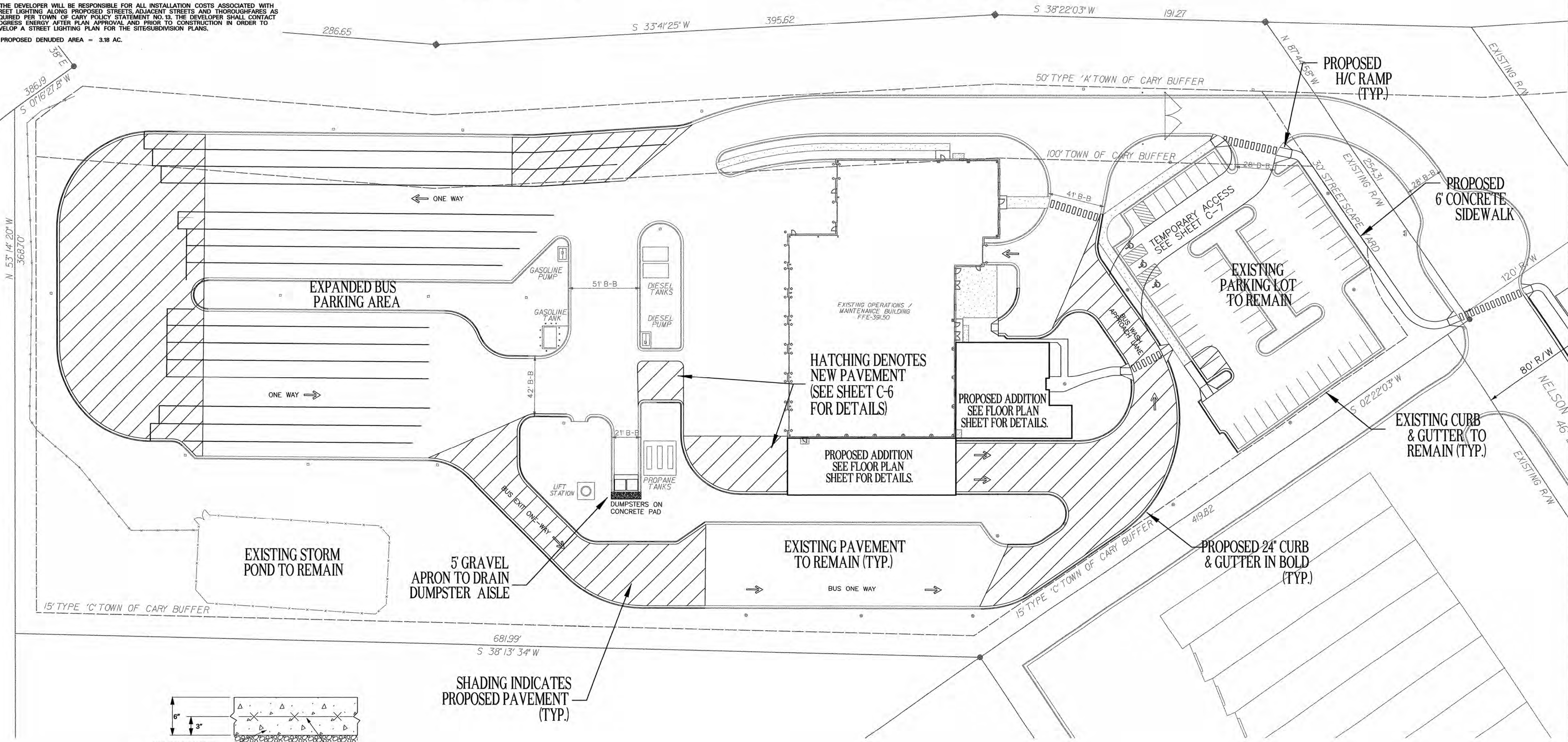
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PARKING REQUIREMENTS

EXISTING GROSS FLOOR AREA: 15,726 SF
 PROPOSED GROSS FLOOR AREA: 2,737 SF
 TOTAL GROSS FLOOR AREA: 18,463 SF
 PARKING SPACES REQ. (1200 SF): 92 SPACES
 PARKING SPACES PROVIDED: 106 SPACES
 (EXISTING + PHASE 1B)

PROPOSED PUBLIC UTILITIES

8" WATERLINE 165 LF.



CONTROL JOINTS SHALL BE SAW CUT STRAIGHT ACROSS BOTH THE LENGTH AND WIDTH OF THE NEW CONCRETE SLABS AT THE MID POINT, BASICALLY QUARTERING THE NEW SLAB. THE CONTROL JOINTS SHOULD BE 1/8" WIDE x 2" DEEP, AND SHOULD BE CUT AS SOON AS THE CONCRETE WILL ACCEPT SAWING WITHOUT DAMAGE.

REINFORCED CONCRETE DUMPSTER PAD
 NO SCALE

TTA

ADDITIONS TO MAINTENANCE FACILITY

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 CARY, NORTH CAROLINA

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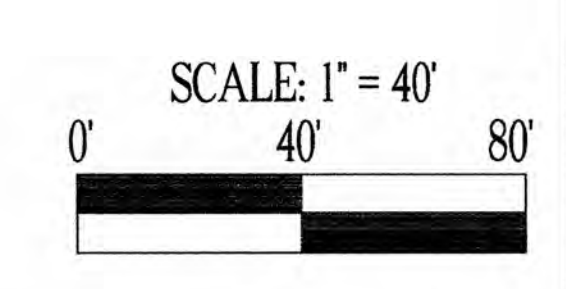
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REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE 06-09-05
 PROJECT NO. 2005141.00
 SCALE 1" = 40'
 DRAWN BY CMW

Cary Project Number 05-SP-98
APPROVED
 TOWN OF CARY



SITE PLAN MAINT. SITE

C-3a

NOTES

These notes set forth here shall apply to each and every sheet.

All site construction shall be in accordance with Town of Cary standards and specifications details and all road construction shall be per NCDOT Standards and Specifications details.

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GENERAL NOTES:

- NO CHANGES TO ANY ASPECT OF THIS PLAN INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, I.E. BUFFER TYPE A, B, C, 30' STREETSCAPE BUFFER, THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2' BUMPER OVERHANG FROM THE BACK OF CURB.
- NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5' OF A SIDEWALK.
- NO TREE SHALL BE LOCATED WITHIN 10' OF A LIGHTING LOCATION.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON SITE ELECTRIC CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE IN THE SIDE OR REAR YARD & SHALL BE SCREENED TO THE EXTENT POSSIBLE. WITH EVERGREEN PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 9' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- ALL VEHICULAR USE AREAS (DRIVES AND PARKING AREAS) SHALL BE SCREENED FROM OFFSITE VIEWS.
- ALL SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS AND ALL ROADWAY CONSTRUCTION WITH CURRENT NCDOT STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST COMPLY WITH NC STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- ANY RETAINING WALLS ON THE SITE OVER 5' HIGH REQUIRE A BUILDING PERMIT.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.
- ALL ADJACENT STREETS IN THE VICINITY OF THIS PROJECT SHALL BE KEPT CLEAN AT ALL TIMES WITH RESPECT TO CONSTRUCTION TRAFFIC. IF THEY ARE NOT, A WASH STATION WILL BE REQUIRED.
- THE TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO THE ISSUANCE OF A GRADING PERMIT FOR THIS PROJECT.
- THIS PROJECT DRAINS TO AN UNNAMED TRIBUTARY OF STIRRUP IRON CREEK.
- APPROVED, STAMPED AND SIGNED BUILDING ELEVATIONS FROM THIS SITE PLAN MUST BE INCORPORATED IN THE BUILDING PERMIT PLANS.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE SUBDIVISION PLANS.
- PROPOSED DENUDED AREA = 3.18 AC.

SITE DATA

PROPERTY OWNER...RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 PROPERTY ADDRESS...5201 NELSON ROAD (MAINT. SITE), 5210 NELSON ROAD (VACANT LOT)
 CARY PROJECT # 05-SP-098
 PIN #...0245586 (MAINTENANCE SITE), 0092222 (VACANT LOT)
 ZONING...ORD (BOTH PARCELS)

5201 NELSON ROAD (MAINT. SITE)		POST-DEVELOPMENT:	
TOTAL ACRES	9.02 AC	TOTAL ACRES	9.02 AC
IMPERVIOUS ACRES	4.30 AC	IMPERVIOUS ACRES	5.09 AC
PERVIOUS ACRES	4.72 AC	PERVIOUS ACRES	3.93 AC
%IMPERVIOUS	47.7%	%IMPERVIOUS	56.4%

5210 NELSON ROAD (VACANT LOT)		POST-DEVELOPMENT:	
TOTAL ACRES	4.81 AC	TOTAL ACRES	4.81 AC
IMPERVIOUS ACRES	0.00 AC	IMPERVIOUS ACRES	1.78 AC
PERVIOUS ACRES	4.81 AC	PERVIOUS ACRES	3.03 AC
%IMPERVIOUS	0.00%	%IMPERVIOUS	36.9%

PARKING (MAIN COMPLEX)

EMPLOYEE:	
EXISTING TO REMAIN:	57
PROPOSED SPACES:	2
TOTAL:	59
BUS/VAN:	
BUS PARKING:	52
VAN PARKING:	20
TOTAL BUS/VAN:	72

PARKING (OVERFLOW LOT)

EMPLOYEE:	
EXISTING TO REMAIN:	47
PROPOSED SPACES:	126
TOTAL:	173
VAN:	
PHASE 1B PROPOSED SPACES:	0
FUTURE SPACES:	30
TOTAL:	30

PARKING REQUIREMENTS

EXISTING GROSS FLOOR AREA:	15,726 SF
PROPOSED GROSS FLOOR AREA:	2,737 SF
TOTAL GROSS FLOOR AREA:	18,463 SF
PARKING SPACES REQ. (1200 SF):	92 SPACES
PARKING SPACES PROVIDED:	106 SPACES
(EXISTING + PHASE 1B)	

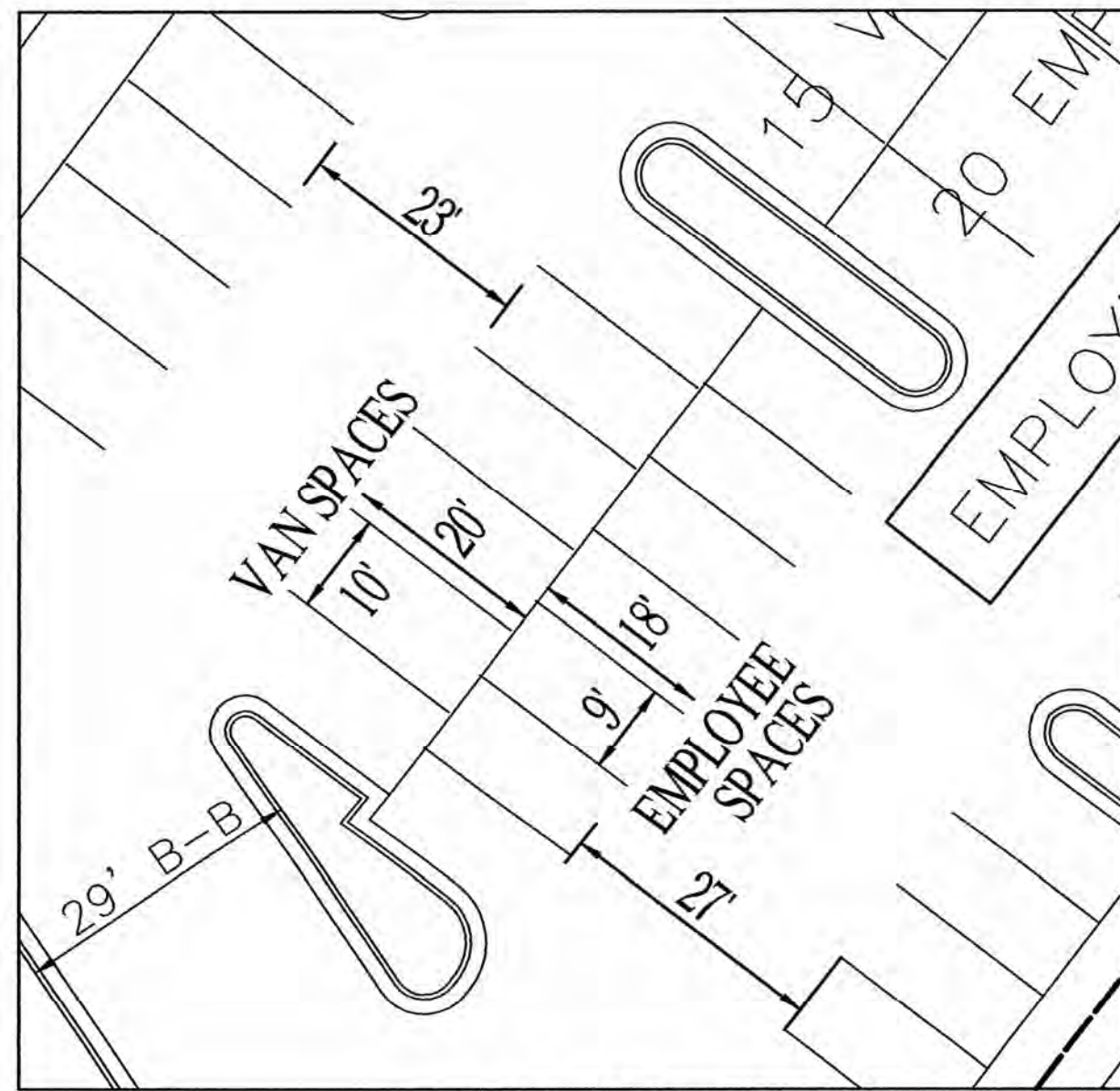
PROPOSED PUBLIC UTILITIES

8" WATERLINE	165 L.F.
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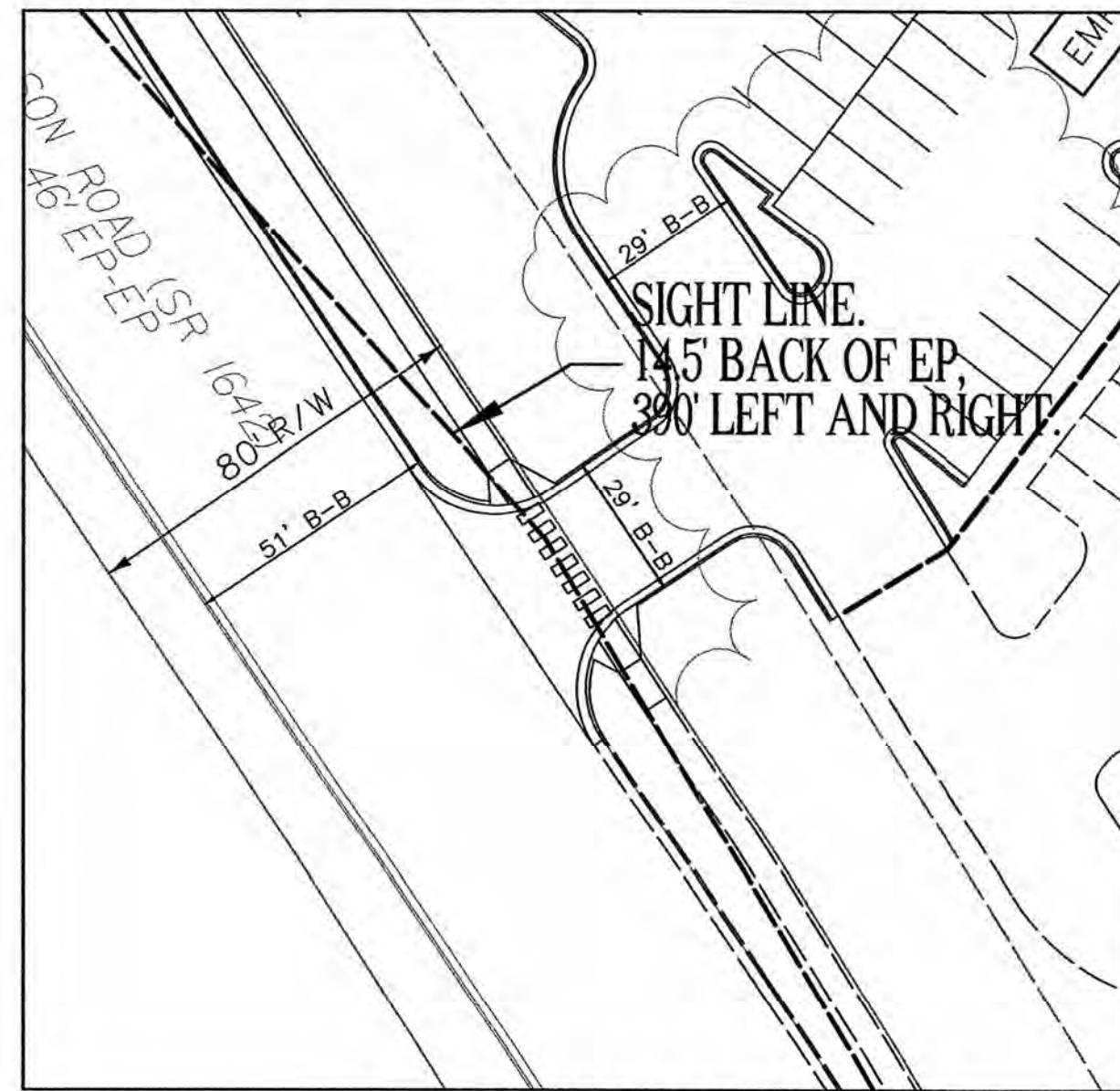
FROM AASHTO GEOMETRIC DESIGN OF HIGHWAYS & STREETS (2004), EXHIBIT 9-55 PAGE 661.

Design speed (mph)	Metric		US Customary	
	Stopping sight distance (m)	Intersection sight distance for passenger cars (m)	Stopping sight distance (ft)	Intersection sight distance for passenger cars (ft)
20	20	41.7	66	136.4
30	36	62.6	100	209.0
40	50	83.4	135	283.3
50	65	104.3	180	368.8
60	80	125.1	230	461.1
70	100	146.0	290	567.7
80	130	168.8	360	691.4
90	160	193.7	435	826.8
100	185	208.5	510	964.9
110	220	229.4	600	1118.6
120	250	250.2	695	1289.9
130	285	271.1	795	1479.9

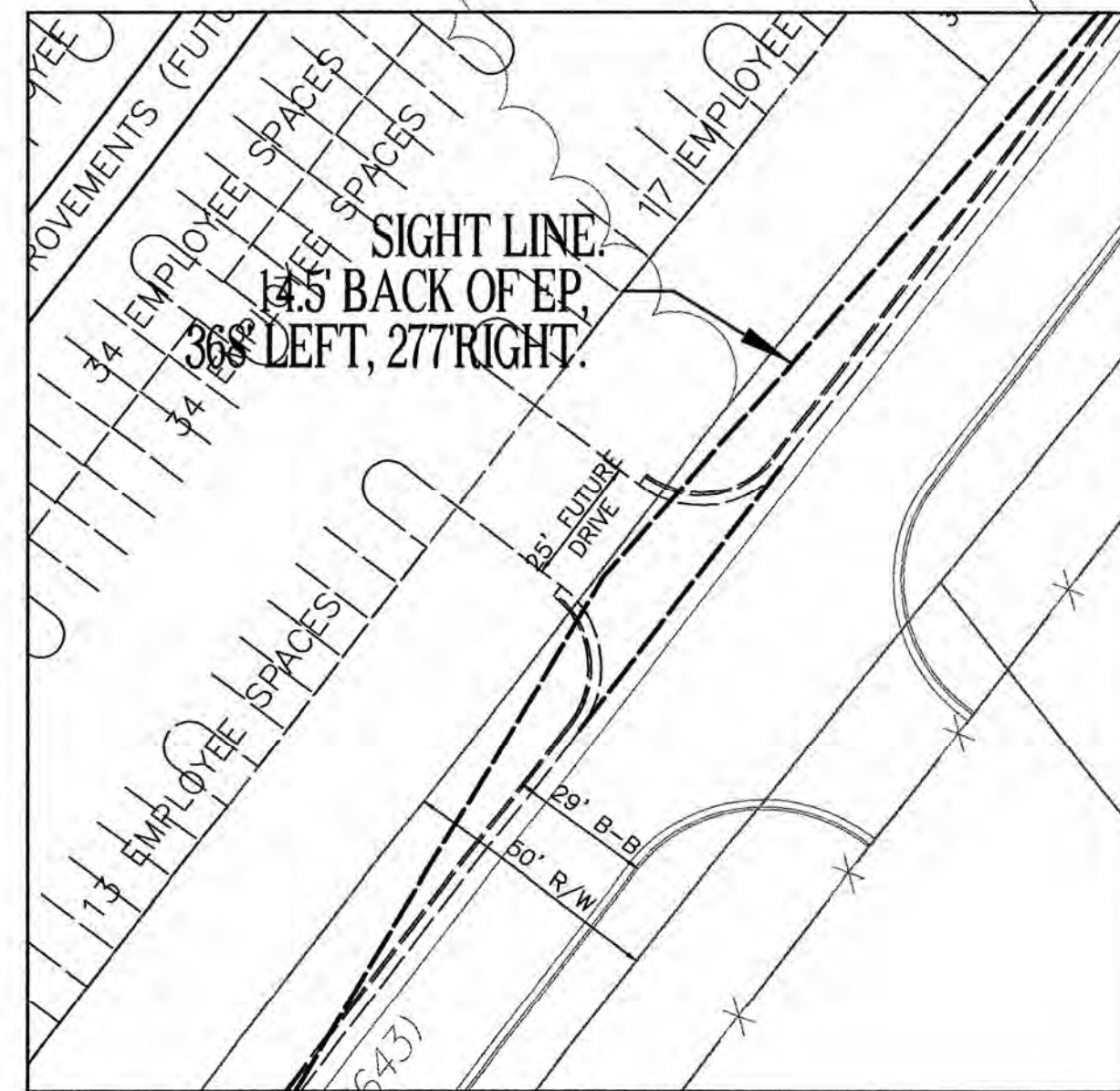
Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap must be adjusted and required sight distance recalculated.



TYPICAL PARKING SPACE DIMENSIONS



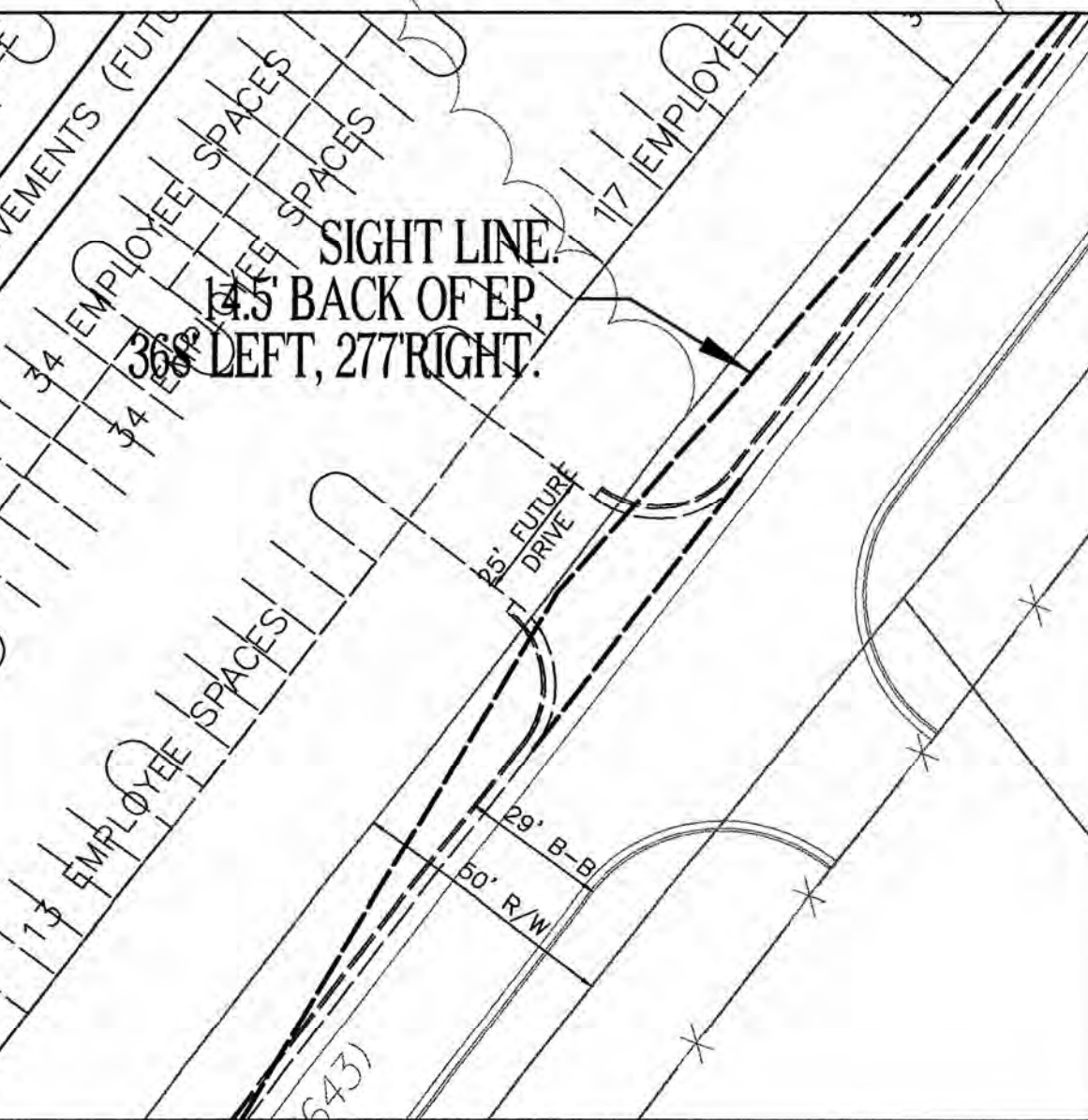
SIGHT TRIANGLE DRIVE 1



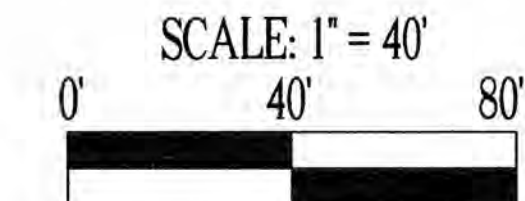
SIGHT TRIANGLE DRIVE 2

EXISTING 30" CURB & GUTTER TO REMAIN (TYP.)

SIGHT TRIANGLE CALCULATION:
 FROM AASHTO GEOMETRIC DESIGN OF HIGHWAYS & STREETS (2004), EXHIBIT 9-55 PAGE 661. DESIGN SPEED = 35 MPH, NO MEDIAN WITH GRADES 3% OR LESS. DESIGN SIGHT DISTANCE = 300 FT. SINCE 300' OF PAVEMENT EITHER DIRECTION, SIGHT LINES DRAWN TO END OF PAVEMENT AND INTERSECTION WITH NELSON RD. VEHICLE PLACED 145' BACK FROM EP AND SIGHT LINES DRAWN TO CENTER OF APPROACHING TRAVEL LANES (FROM RIGHT AND LEFT). SINCE R/W IS 18' BACK FROM EP AND VEHICLE IS AT 145' BACK FROM EP, SIGHT TRIANGLES ARE NOT WARRANTED.



Cary Project Number 05-SP-98
 APPROVED
 TOWN OF CARY



SCALE: 1" = 40'

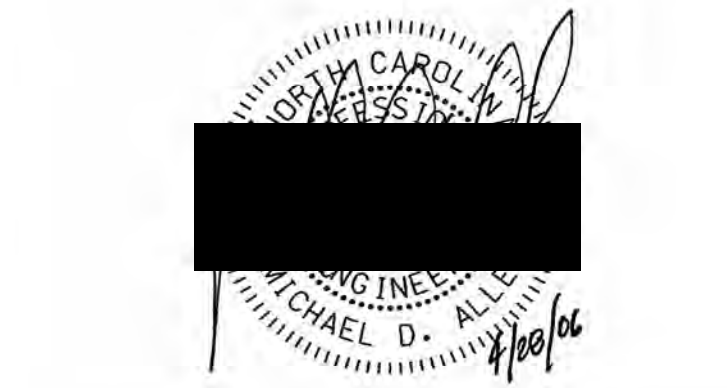


NELSON ROAD
 CARY, NORTH CAROLINA

COMPLETE FACILITIES SOLUTIONS
 328 E. Market Street
 Suite 206
 Greensboro, N.C. 27401
 Telephone 336-373-9800
 Fax 336-373-0077

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MULKEY ENGINEERS & CONSULTANTS
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 RALEIGH, N.C. 27636
 (919) 851-1912
 (919) 851-1918 (FAX)
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REVISIONS	
NO.	DESCRIPTION
1	04-28-06 FINAL CONSTRUCTION DRAWINGS

DATE: 06-09-05
 PROJECT NO.: 2005141.00
 SCALE: 1" = 40'
 DRAWN BY: CMW

SITE PLAN
 VACANT LOT

C-3b

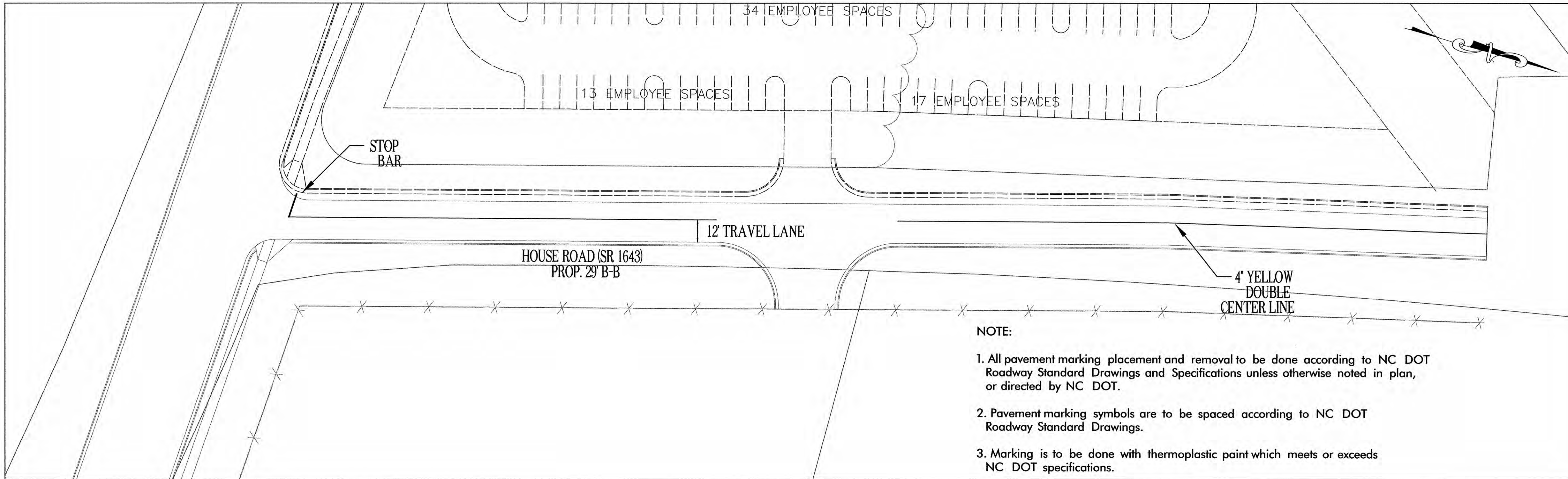


ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
CARY, NORTH CAROLINA



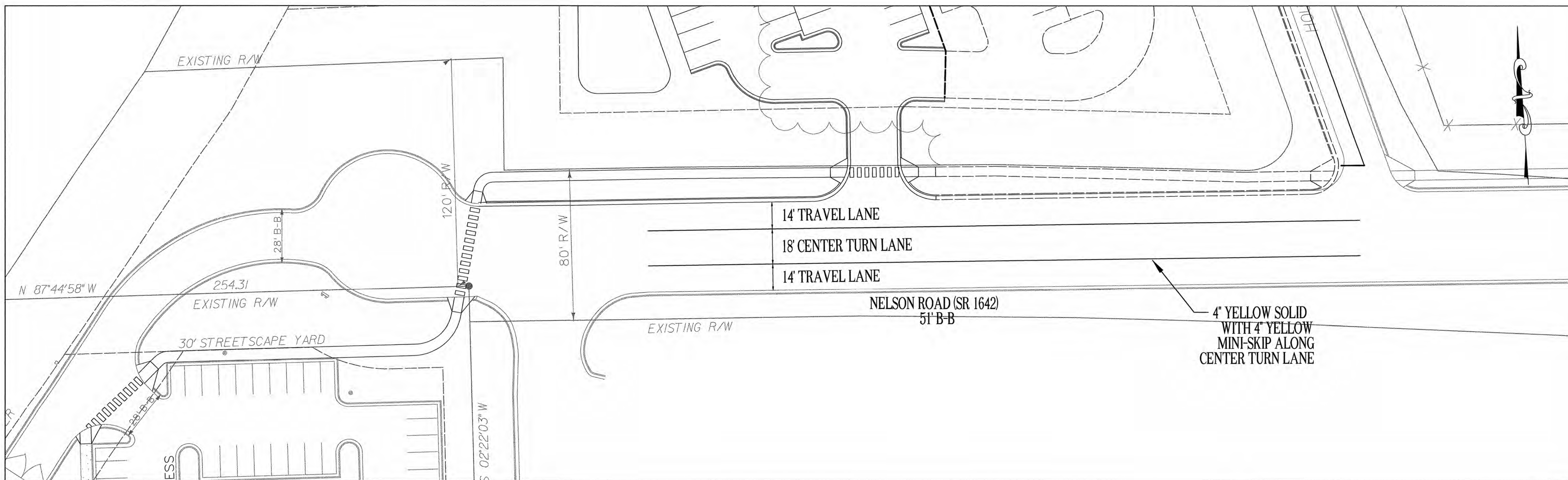
**MOSER
MAYER
PHOENIX**
ASSOCIATES, PA
328 E. Market Street
Suite 200
Greensboro, N.C. 27401
Telephone 336-373-9800
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Cary Project Number 05-SP-98
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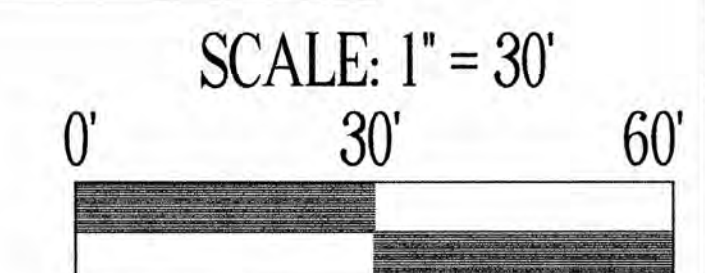
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REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE 06-09-05
PROJECT NO. 2005141.00
SCALE 1" = 40'
DRAWN BY CMW

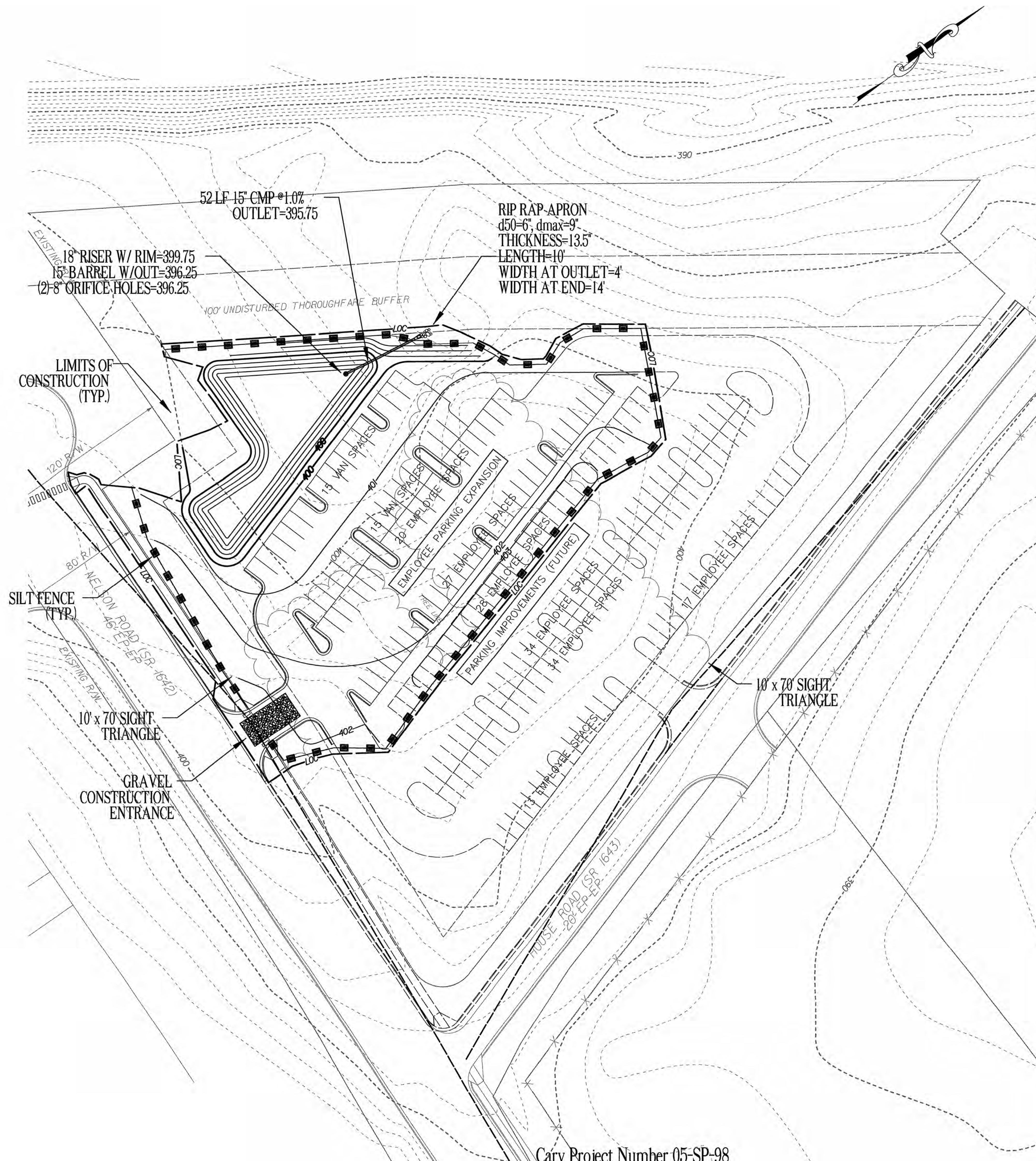
PAVEMENT MARKING PLAN



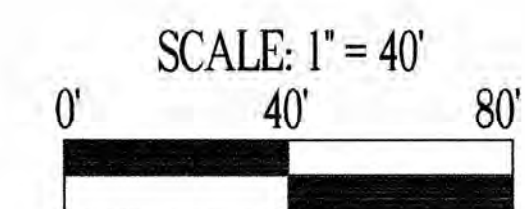
C-3c

STORM DRAINAGE NOTES:

1. ALL PROPOSED DOWNSPOUTS ARE TO BE COLLECTED BY AN UNDERGROUND COLLECTION SYSTEM AND ROUTED INTO THE STORM DRAINAGE SYSTEM.
2. ALL PROPOSED STORM DRAINAGE WILL BE ROUTED THROUGH THE EXISTING OIL/WATER SEPARATORS PRIOR TO DISCHARGING INTO THE EXISTING POND.
3. TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF BUFFERS AND STREETSCAPES, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR, ROOTS.
4. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CO.
5. PROPOSED DENUDED AREA = 3.18 AC.
6. ALL PERMANENT GROUND COVER WILL BE ESTABLISHED IN 15 WORKING DAYS, OR 90 CALENDAR DAYS, WHICH EVER IS SHORTER.
7. THERE ARE NO EXISTING WETLAND AREAS WITHIN THIS PROJECT.
8. ALL STORM DRAIN FRAMES, GRATES & HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF CARY STANDARDS.
9. THIS PROJECT IS WITHIN THE NEUSE RIVER WATERSHED - CRABTREE CREEK (UPPER) DRAINAGE BASIN.
10. THERE ARE NO EXISTING FLOOD PLAINS WITHIN THIS PROJECT.
11. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
12. EROSION CONTROL REVIEW AND INSPECTION WILL BE ADDRESSED BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH AND NATURAL RESOURCES.
13. THIS PROJECT WILL NOT BE APPROVED BY THE TOWN OF CARY UNTIL NOTIFICATION HAS BEEN RECEIVED FROM THE ECOSYSTEM ENHANCEMENT PROGRAM THAT A RECEIPT HAS BEEN ISSUED TO THE DEVELOPER AND THE LOCAL GOVERNMENT STATING THAT THE NITROGEN BUYDOWN HAD BEEN COMPLETED.
14. THIS PROJECT SHALL MEET ALL OF THE REQUIREMENTS RELATIVE TO BEST MANAGEMENT PRACTICES AND ENGINEERED STORMWATER CONTROL STRUCTURES AS OUTLINED IN THE TOWN OF CARY UNIFIED DEVELOPMENT ORDINANCE (CHAPTER 7, PART 3.7, LDO).
15. MINIMUM CONCRETE FOOTING FOR 18" RISER BARREL=3' x 3' x 1.5' THICK



Cary Project Number 05-SP-98
APPROVED
 TOWN OF CARY



**ADDITIONS TO
 MAINTENANCE
 FACILITY**

NELSON ROAD
 CARY, NORTH CAROLINA



COMPLETE
 FACILITIES
 SOLUTIONS

**MOSER
 MAYER
 PHOENIX**

328 E. Market Street
 Suite 200
 Greensboro, N.C. 27401
 Telephone: 336-373-9800
 Fax: 336-373-0077

ASSOCIATES, PA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE: 06-09-05
 PROJECT NO.: 2005141.00
 SCALE: 1" = 60'
 DRAWN BY: CMW

**GRADING, STORM
 & EROSION PLAN
 VACANT LOT
 C-4a**



ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
CARY, NORTH CAROLINA



**MOSER
MAYER
PHOENIX
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328 E. Market Street
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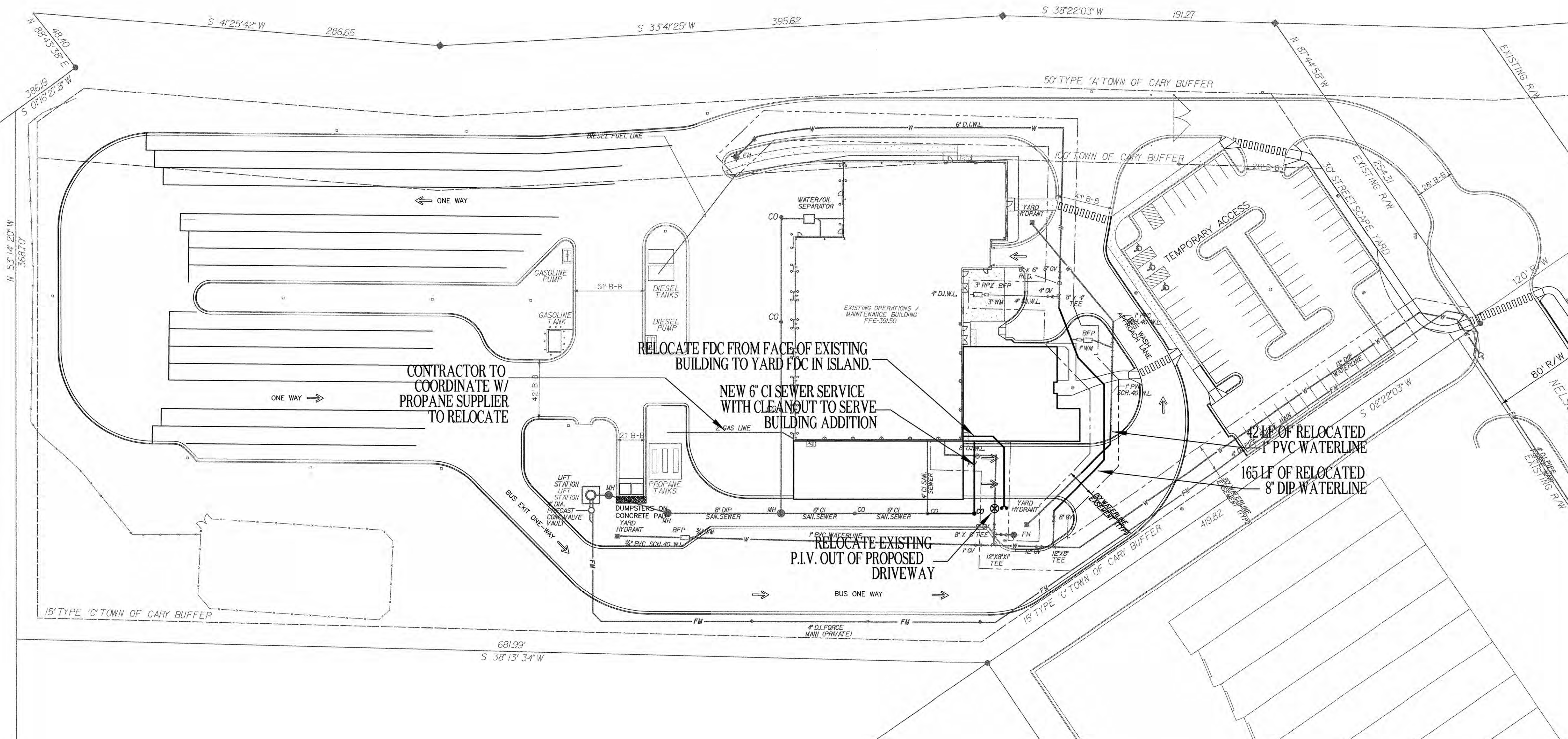
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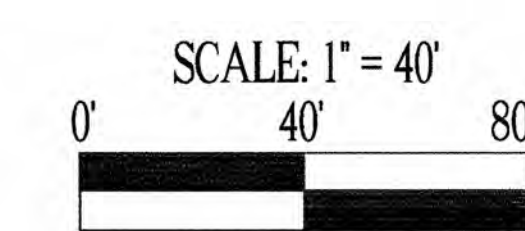
REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE 06-09-06
PROJECT NO. 2005141.00
SCALE 1" = 40'
DRAWN BY CMW

- UTILITY NOTES:**
1. DOMESTIC WATER FOR THE PROPOSED ADDITIONS WILL BE PROVIDED INTERNALLY FROM THE EXISTING BUILDING.
 2. A TOWN OF CARY WATERLINE PERMIT WILL BE REQUIRED FOR THIS PROJECT.
 3. 165 LF. OF 8" PUBLIC WATERLINE IS PROPOSED FOR THIS PROJECT.



Cary Project Number 05-SP-98
APPROVED
TOWN OF CARY



UTILITY PLAN

C-5.dgn 4/26/2006 9:44:11 AM

GENERAL NOTES:

- NO CHANGES TO ANY ASPECT OF THIS PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, I.E. BUFFER TYPE A, B, C, 30' STREETSCAPE BUFFER, THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5' OF A SIDEWALK.
- NO TREE SHALL BE LOCATED WITHIN 10' OF A LIGHTING LOCATION.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON SITE ELECTRIC CABLE TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE IN THE SIDE OR REAR YARD & SHALL BE SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- ALL VEHICULAR USE AREAS (DRIVES AND PARKING AREAS) SHALL BE SCREENED FROM OFFSITE VIEWS.
- ALL SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS AND ALL ROADWAY CONSTRUCTION WITH CURRENT NCDOT STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST COMPLY WITH NC STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL 1C.
- ANY RETAINING WALLS ON THE SITE OVER 5' HIGH REQUIRE A BUILDING PERMIT.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.

- ALL ADJACENT STREETS IN THE VICINITY OF THIS PROJECT SHALL BE KEPT CLEAN AT ALL TIMES WITH RESPECT TO CONSTRUCTION TRAFFIC. IF THEY ARE NOT, A WASH STATION WILL BE REQUIRED.
- THE TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO THE ISSUANCE OF A GRADING PERMIT FOR THIS PROJECT.
- THIS PROJECT DRAINS TO AN UNNAMED TRIBUTARY OF STIRRUP IRON CREEK.
- APPROVED, STAMPED AND SIGNED BUILDING ELEVATIONS FROM THIS SITE PLAN MUST BE INCORPORATED IN THE BUILDING PERMIT PLANS.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
- PROPOSED DENUDED AREA = 3.18 AC.
- BIKE RACKS WILL BE INCORPORATED INTO THE SITE IN CONFORMANCE WITH THE ASSOCIATION OF PEDESTRIAN AND BICYCLE PROFESSIONALS BICYCLE PARKING GUIDELINES ADOPTED SPRING 2002.

SITE DATA

PROPERTY OWNER...RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 PROPERTY ADDRESS...5201 NELSON ROAD (MAINT. SITE), 5210 NELSON ROAD (VACANT LOT)
 CARY PROJECT # 05-SP-098
 PIN #...0245586 (MAINTENANCE SITE), 0092222 (VACANT LOT)
 ZONING...ORD (BOTH PARCELS)

5201 NELSON ROAD (MAINT. SITE)		POST-DEVELOPMENT:	
PRE-DEVELOPMENT:		TOTAL ACRES	9.02 AC
TOTAL ACRES	9.02 AC	IMPERVIOUS ACRES	5.09 AC
IMPERVIOUS ACRES	4.30 AC	PERVIOUS ACRES	3.93 AC
PERVIOUS ACRES	4.72 AC	%IMPERVIOUS	56.4%
%IMPERVIOUS	47.7%		

5210 NELSON ROAD (VACANT LOT)		POST-DEVELOPMENT:	
PRE-DEVELOPMENT:		TOTAL ACRES	4.81 AC
TOTAL ACRES	4.81 AC	IMPERVIOUS ACRES	1.78 AC
IMPERVIOUS ACRES	0.00 AC	PERVIOUS ACRES	3.03 AC
PERVIOUS ACRES	4.81 AC	%IMPERVIOUS	36.9%
%IMPERVIOUS	0.00%		

PARKING (MAIN COMPLEX)

EMPLOYEE:	EXISTING TO REMAIN:	57
EXISTING TO REMAIN:	PROPOSED SPACES:	2
PROPOSED SPACES:	TOTAL:	59
TOTAL:	HANDICAP SPACES:	3
HANDICAP SPACES:		

BUS/VAN:	BUS PARKING:	52
BUS PARKING:	VAN PARKING:	20
VAN PARKING:	TOTAL BUS/VAN:	72
TOTAL BUS/VAN:		

PARKING (OVERFLOW LOT)

EMPLOYEE:	PHASE 1B PROPOSED SPACES:	47
PHASE 1B PROPOSED SPACES:	FUTURE SPACES:	126
FUTURE SPACES:	TOTAL:	173
TOTAL:		

VAN:	PHASE 1B PROPOSED SPACES:	30
PHASE 1B PROPOSED SPACES:	FUTURE SPACES:	0
FUTURE SPACES:	TOTAL:	30
TOTAL:		

PARKING REQUIREMENTS

EXISTING GROSS FLOOR AREA:	15,726 SF
PROPOSED GROSS FLOOR AREA:	2,737 SF
TOTAL GROSS FLOOR AREA:	18,463 SF
PARKING SPACES REQ. (1200 SF):	92 SPACES
PARKING SPACES PROVIDED:	106 SPACES
(EXISTING + PHASE 1B)	

NOTES

These notes set forth here shall apply to each and every sheet.
 All site construction shall be in accordance with Town of Cary standards and specifications details and all road construction shall be per NCDOT Standards and Specifications details.

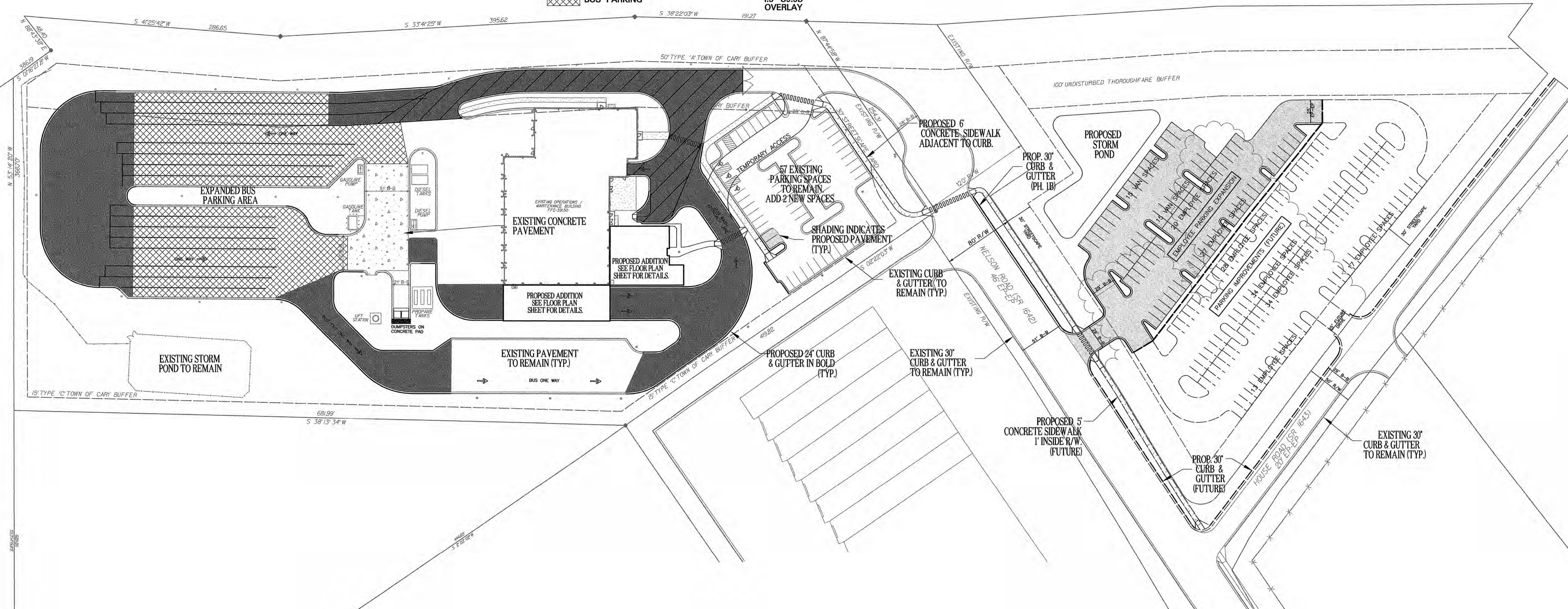
The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

PROPOSED PUBLIC UTILITIES

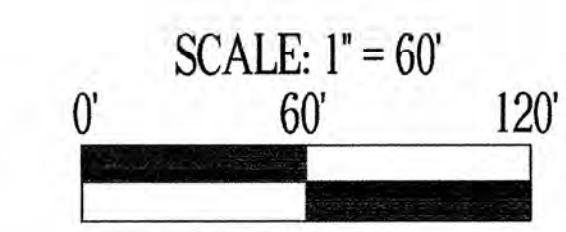
8" WATERLINE 165 L.F.

PAVEMENT SECTIONS

REPLACE EXISTING P.V.M.T. WITH NEW HEAVY DUTY (FOR BUS TRAFFIC AREAS)	2.5" S9.5B 3.0" I9.0B
NEW HEAVY DUTY P.V.M.T. SECTION (FOR BUS TRAFFIC AREAS)	2.5" S9.5B 3.0" I9.0B
PARKING LOT AISLES	2.5" S9.5B 8.0" ABC
PARKING STALLS	2.5" S9.5B 6.0" ABC
BUS PARKING	1.5" S9.5B OVERLAY



Cary Project Number 05-SP-98
APPROVED
 TOWN OF CARY



ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
 CARY, NORTH CAROLINA

MOSER MAYER PHOENIX ASSOCIATES, PA

328 E. Market Street
 Suite 200
 Greensboro, N.C. 27401
 Telephone 336-373-9800
 Fax 336-373-0977

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MULKEY ENGINEERS & CONSULTANTS

PO Box 33127
 RALEIGH, N.C. 27636
 (919) 851-1912
 (919) 851-1918 (FAX)
 WWW.MULKEYINC.COM

North Carolina
 State Seal
 CHASE D. ALL
 Professional Engineer

REVISIONS

NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE 06-09-06
 PROJECT NO. 2005141.00
 SCALE 1" = 60'
 DRAWN BY CMW

PAVING PLAN
C-6

GENERAL NOTES:

- NO CHANGES TO ANY ASPECT OF THIS PLAN INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, I.E. BUFFER TYPE A, B, C, 30' STREETScape BUFFER, THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5' OF A SIDEWALK.
- NO TREE SHALL BE LOCATED WITHIN 10' OF A LIGHTING LOCATION.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON SITE ELECTRIC CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE IN THE SIDE OR REAR YARD & SHALL BE SCREENED TO THE EXTENT POSSIBLE. WITH EVERGREEN PLANTINGS PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 6' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- ALL VEHICULAR USE AREAS (DRIVES AND PARKING AREAS) SHALL BE SCREENED FROM OFFSITE VIEWS.
- ALL SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS AND ALL ROADWAY CONSTRUCTION WITH CURRENT NCDOT STANDARDS AND SPECIFICATIONS.
- ALL WORK MUST COMPLY WITH NC STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- ANY RETAINING WALLS ON THE SITE OVER 5' HIGH REQUIRE A BUILDING PERMIT.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.

- ALL ADJACENT STREETS IN THE VICINITY OF THIS PROJECT SHALL BE KEPT CLEAN AT ALL TIMES WITH RESPECT TO CONSTRUCTION TRAFFIC. IF THEY ARE NOT, A WASH STATION WILL BE REQUIRED.
- THE TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO THE ISSUANCE OF A GRADING PERMIT FOR THIS PROJECT.
- THIS PROJECT DRAINS TO AN UNNAMED TRIBUTARY OF STIRRUP IRON CREEK.
- APPROVED, STAMPED AND SIGNED BUILDING ELEVATIONS FROM THIS SITE PLAN MUST BE INCORPORATED IN THE BUILDING PERMIT PLANS.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITESUBDIVISION PLANS.
- PROPOSED DENUDE AREA = 3.38 AC.
- BIKE RACKS WILL BE INCORPORATED INTO THE SITE IN CONFORMANCE WITH THE ASSOCIATION OF PEDESTRIAN AND BICYCLE PROFESSIONALS BICYCLE PARKING GUIDELINES ADOPTED SPRING 2002.

SITE DATA

PROPERTY OWNER...RESEARCH TRIANGLE REGIONAL PUBLIC TRANSPORTATION AUTHORITY
 PROPERTY ADDRESS...5201 NELSON ROAD (MAINT. SITE), 5210 NELSON ROAD (VACANT LOT)
 CARY PROJECT # 05-SP-098
 PIN #...0245886 (MAINTENANCE SITE), 0092222 (VACANT LOT)
 ZONING...ORD (BOTH PARCELS)

5201 NELSON ROAD (MAINT. SITE)		POST-DEVELOPMENT:	
PRE-DEVELOPMENT:	TOTAL ACRES	TOTAL ACRES	9.02 AC
TOTAL ACRES	9.02 AC	IMPERVIOUS ACRES	5.09 AC
IMPERVIOUS ACRES	4.30 AC	PERVIOUS ACRES	3.93 AC
PERVIOUS ACRES	4.72 AC	%IMPERVIOUS	56.4%
%IMPERVIOUS	47.7%		
5210 NELSON ROAD (VACANT LOT)		POST-DEVELOPMENT:	
PRE-DEVELOPMENT:	TOTAL ACRES	TOTAL ACRES	4.81 AC
TOTAL ACRES	4.81 AC	IMPERVIOUS ACRES	1.78 AC
IMPERVIOUS ACRES	0.00 AC	PERVIOUS ACRES	3.03 AC
PERVIOUS ACRES	4.81 AC	%IMPERVIOUS	36.9%
%IMPERVIOUS	0.00%		

NOTES

These notes set forth here shall apply to each and every sheet.
 All site construction shall be in accordance with Town of Cary standards and specifications details and all road construction shall be per NCDOT Standards and Specifications details.
 The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

PAVEMENT SECTIONS

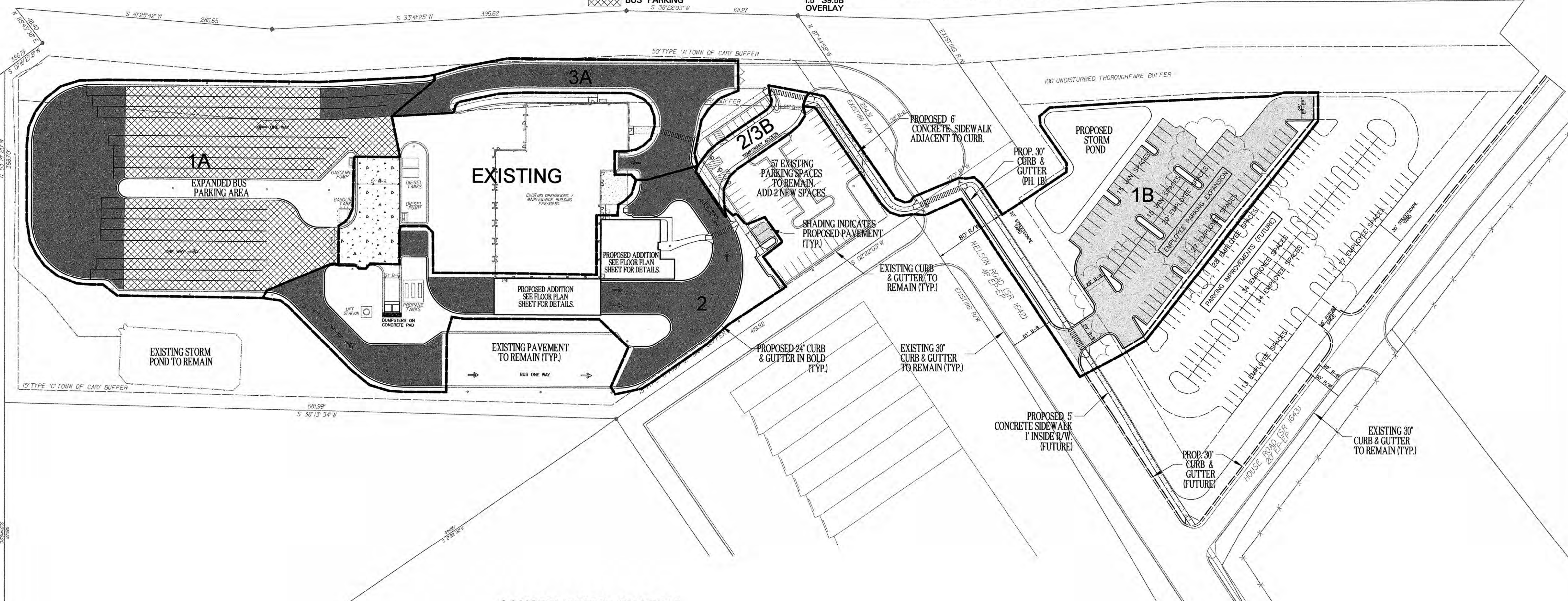
REPLACE EXISTING PVMT. WITH NEW HEAVY DUTY (FOR BUS TRAFFIC AREAS)	2.5" S9.5B 3.0" I9.0B 5.5" ASPHALT BASE ON SUB-GRADE
NEW HEAVY DUTY PVMT. SECTION (FOR BUS TRAFFIC AREAS)	2.5" S9.5B 3.0" I9.0B 5.5" ASPHALT BASE ON SUB-GRADE
PARKING LOT AISLES	2.5" S9.5B 8.0" ABC
PARKING STALLS	2.5" S9.5B 6.0" ABC
BUS PARKING	1.5" S9.5B OVERLAY

PROPOSED PUBLIC UTILITIES

8" WATERLINE 165 L.F.

TEMPORARY ACCESS:

THE CONTRACTOR WILL CONSTRUCT A TEMPORARY BUS ACCESS ROAD DURING PHASE 2 WHICH WILL BE UTILIZED DURING PHASE 3A TO ALLOW BUSES TO ACCESS THE REAR OF THE FACILITY. THE CONTRACTOR WILL REMOVE THE CURB AND GUTTER WITHIN THE TEMPORARY ACCESS AND INSTALL ADDITIONAL PAVEMENT AS NECESSARY. SOME MINIMAL GRADING MAY BE REQUIRED. ONCE PHASE 3A HAS BEEN COMPLETED, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ACCESS ROAD AND RESTORE THE AREA BACK TO ORIGINAL CONDITIONS, INCLUDING THE INSTALLATION OF CURB, GUTTER AND LANDSCAPING. IF THE EXISTING PAVEMENT WITHIN THE PARKING AREA HAS BEEN DAMAGED, THIS PAVEMENT SHALL BE RESTORED OR REPLACED.



CONSTRUCTION PHASING

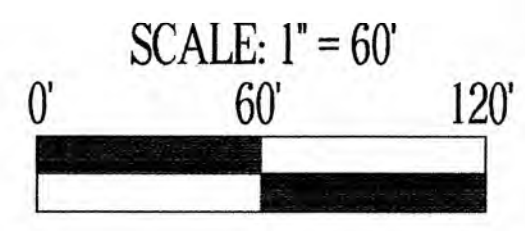
(SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)

- PHASE 1A: EXPANSION AND RESURFACING OF BUS PARKING AREA: 60 DAYS FROM NOTICE TO PROCEED
- PHASE 1B: NEW EMPLOYEE PARKING AREA: 90 DAYS FROM NOTICE TO PROCEED
- PHASE 2: BUILDING, PARKING, AND DRIVE EXPANSION, TEMPORARY ACCESS CONSTRUCTION: 270 DAYS FROM FINAL COMPLETION AND OWNER ACCEPTANCE OF PHASE 1B
- PHASE 3A: RECONSTRUCTION OF EXISTING BUS DRIVE: 30 DAYS FROM FINAL COMPLETION AND OWNER ACCEPTANCE OF PHASE 2
- PHASE 3B: REMOVAL AND REPAIR OF TEMPORARY ACCESS: 21 DAYS FROM FINAL COMPLETION AND OWNER ACCEPTANCE OF PHASE 3A

Cary Project Number 05-SP-98

APPROVED

TOWN OF CARY



ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
 CARY, NORTH CAROLINA



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 Greensboro, N.C. 27401
 Telephone 336-373-9800
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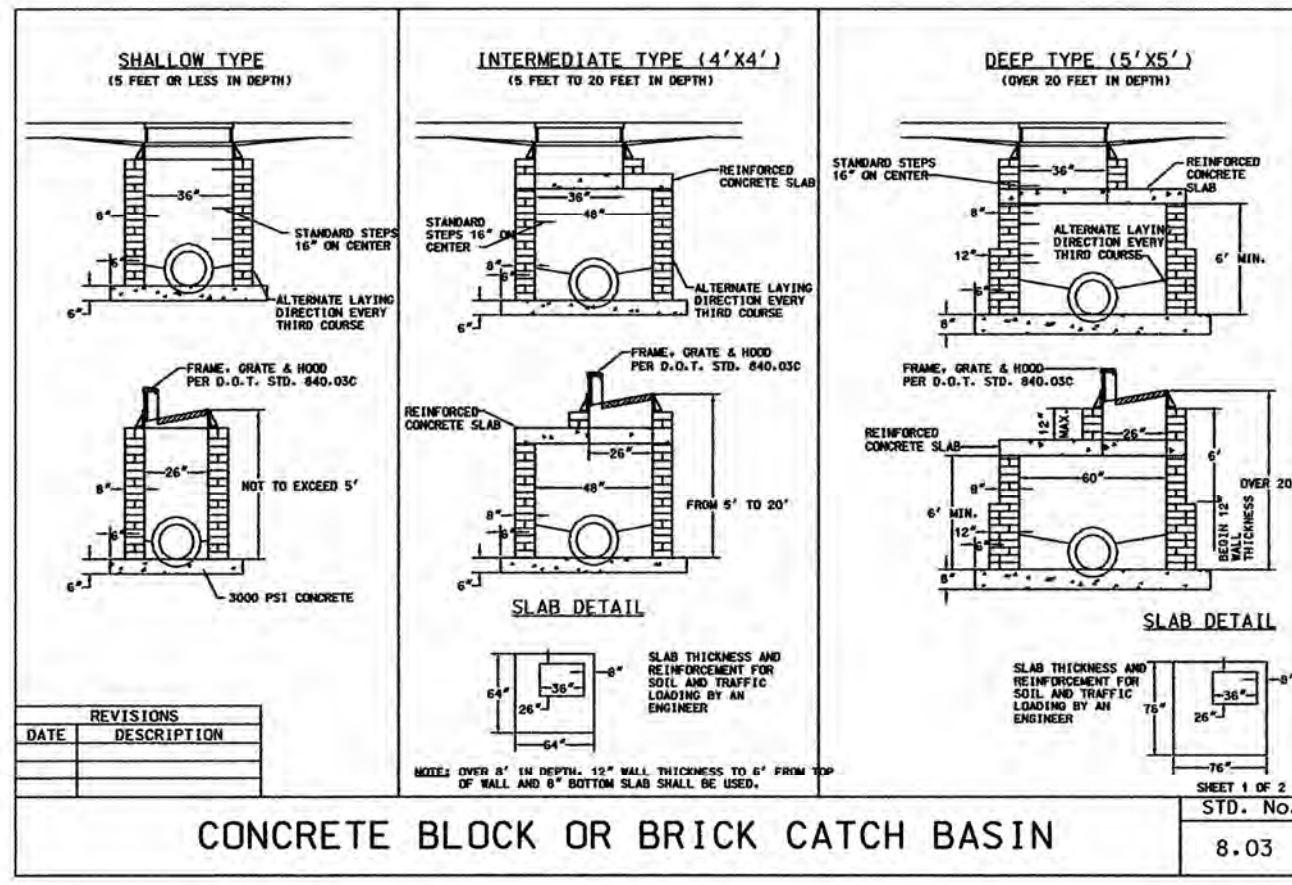
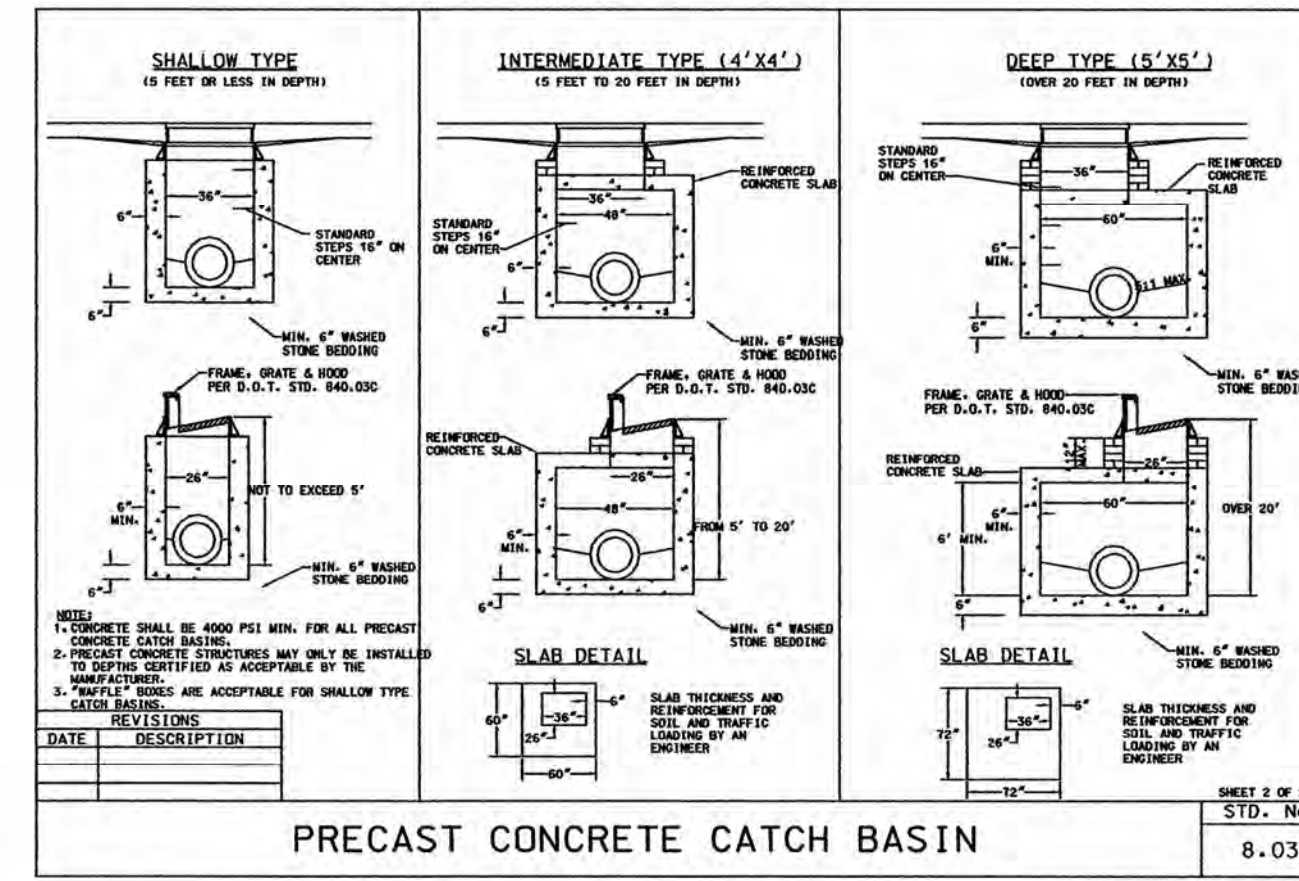
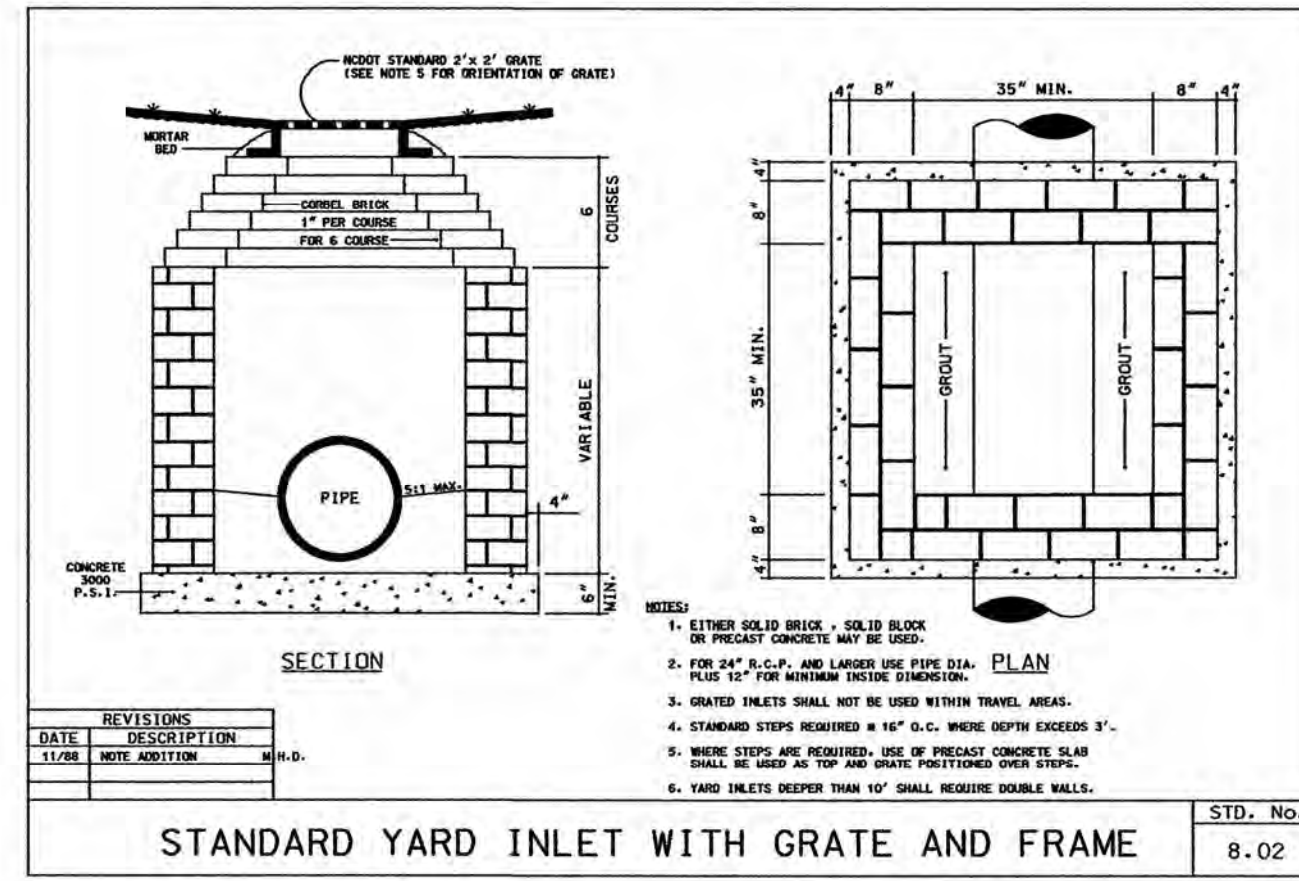
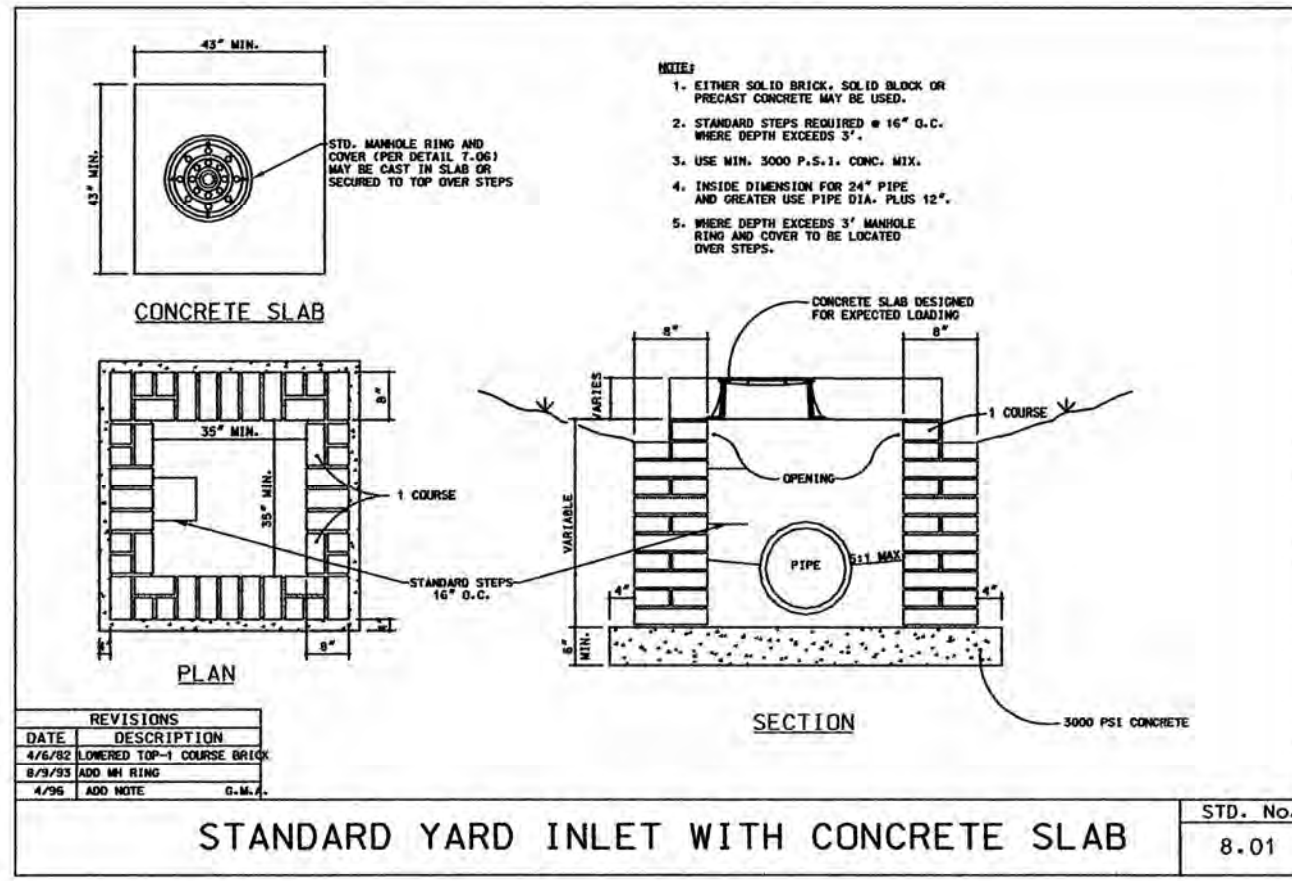


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DATE 06-09-06
 PROJECT NO. 2005141.00
 SCALE 1" = 60'
 DRAWN BY CMW

CONSTRUCTION PHASING PLAN

C-7

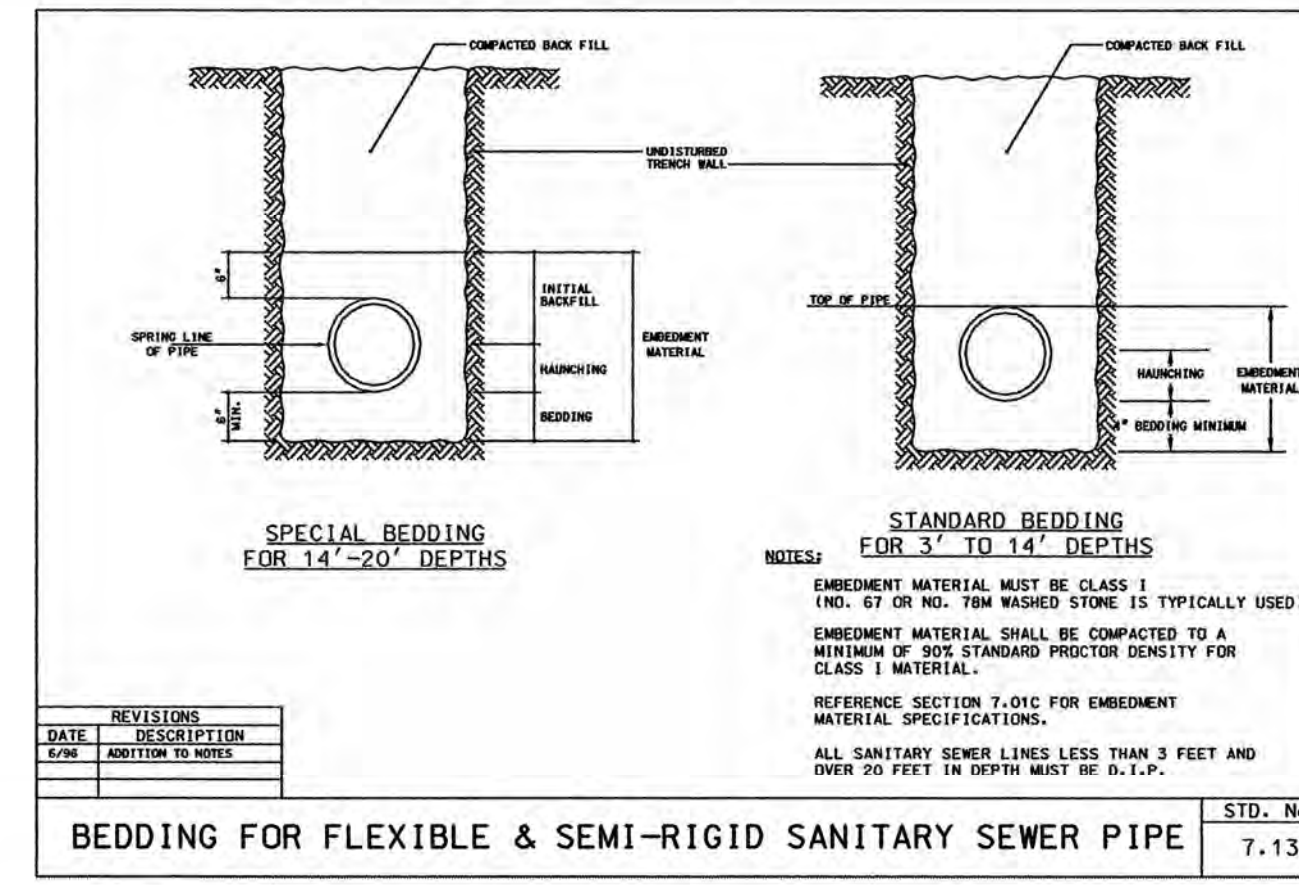


STANDARD AIR TEST TABLE

PIPE DIAMETER, INCHES

LENGTH OF LINE, FEET	4	6	8	10	12	15	18	21	24
25	0.08	0.10	0.12	0.15	0.18	0.22	0.27	0.33	0.39
50	0.16	0.20	0.24	0.30	0.36	0.45	0.54	0.66	0.78
75	0.24	0.30	0.36	0.45	0.54	0.66	0.81	0.99	1.17
100	0.32	0.40	0.48	0.60	0.72	0.87	1.05	1.26	1.51
125	0.40	0.50	0.60	0.75	0.90	1.08	1.30	1.56	1.87
150	0.48	0.60	0.72	0.90	1.08	1.30	1.56	1.87	2.24
175	0.56	0.70	0.84	1.05	1.26	1.51	1.80	2.16	2.58
200	0.64	0.80	0.96	1.20	1.44	1.71	2.07	2.50	2.97
225	0.72	0.90	1.08	1.35	1.62	1.95	2.37	2.86	3.41
250	0.80	1.00	1.20	1.50	1.80	2.16	2.61	3.15	3.75
275	0.88	1.10	1.32	1.65	1.98	2.37	2.86	3.41	4.05
300	0.96	1.20	1.44	1.80	2.16	2.58	3.15	3.75	4.41
325	1.04	1.30	1.56	1.95	2.34	2.81	3.39	4.05	4.77
350	1.12	1.40	1.68	2.10	2.52	3.00	3.60	4.26	5.01
375	1.20	1.50	1.80	2.25	2.70	3.24	3.87	4.59	5.37
400	1.28	1.60	1.92	2.40	2.88	3.42	4.11	4.86	5.67
425	1.36	1.70	2.04	2.55	3.06	3.60	4.26	5.01	5.83
450	1.44	1.80	2.16	2.70	3.24	3.78	4.47	5.22	6.03
475	1.52	1.90	2.28	2.85	3.42	3.96	4.68	5.43	6.24
500	1.60	2.00	2.40	3.00	3.60	4.14	4.86	5.67	6.45
525	1.68	2.10	2.52	3.15	3.78	4.32	5.01	5.83	6.66
550	1.76	2.20	2.64	3.30	3.96	4.50	5.22	6.03	6.87
575	1.84	2.30	2.76	3.45	4.14	4.68	5.43	6.24	7.08
600	1.92	2.40	2.88	3.60	4.32	4.86	5.67	6.45	7.29

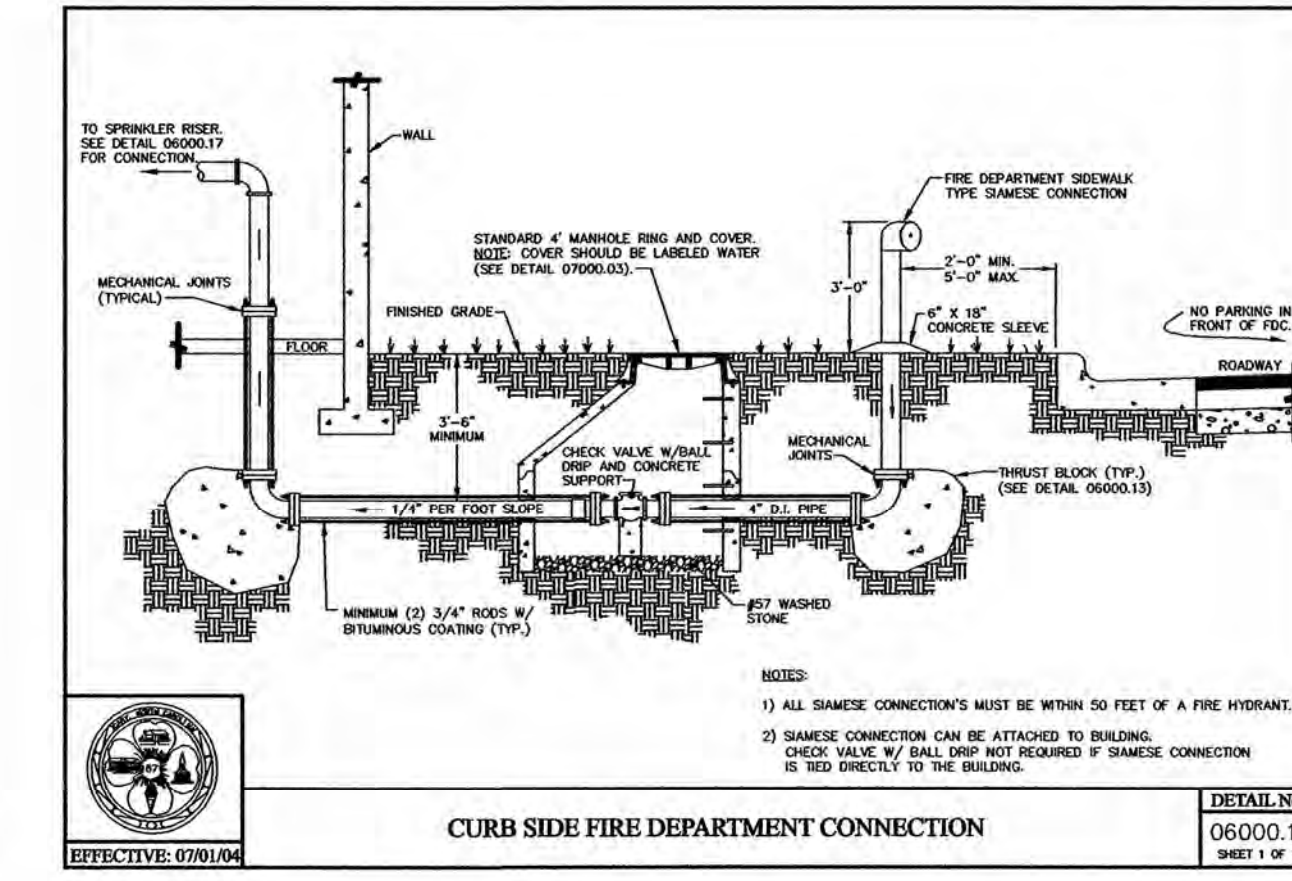
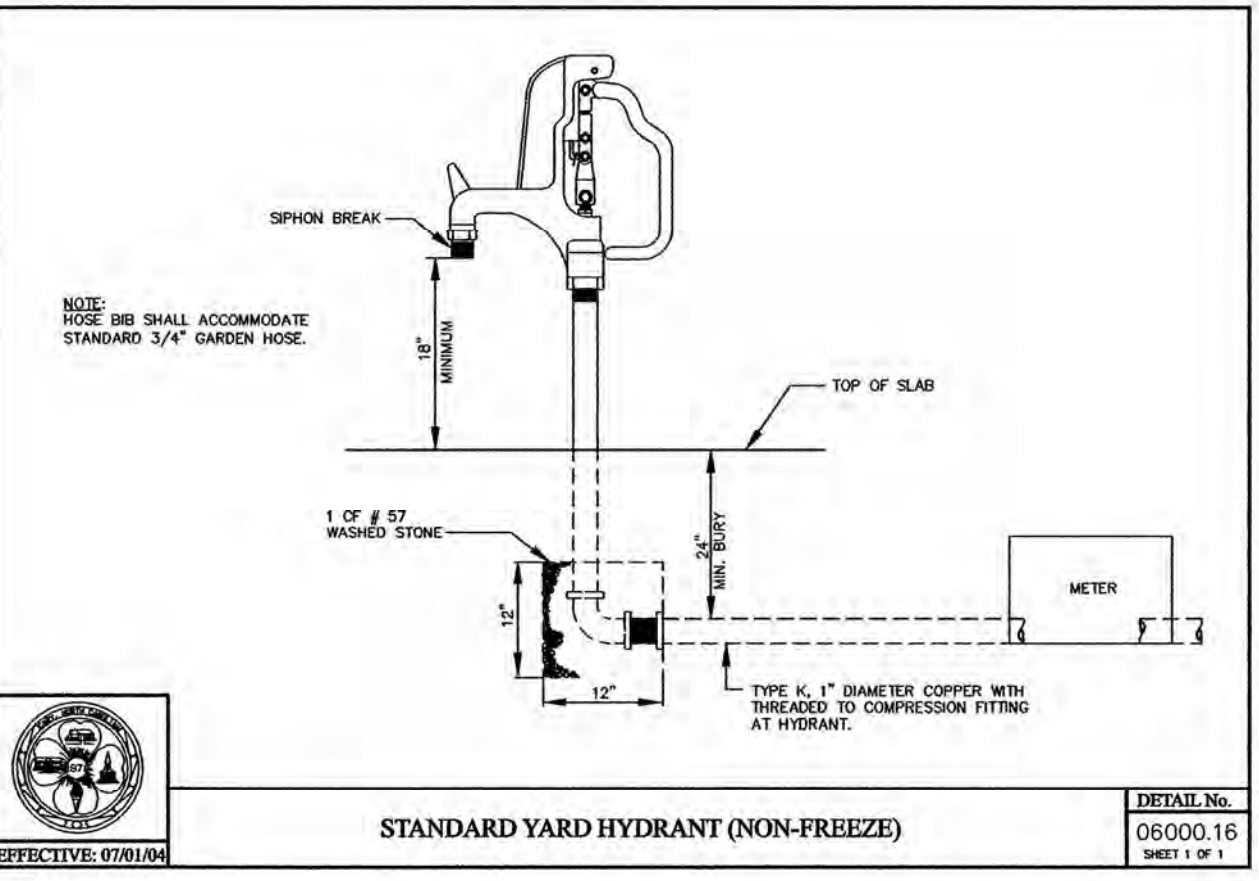
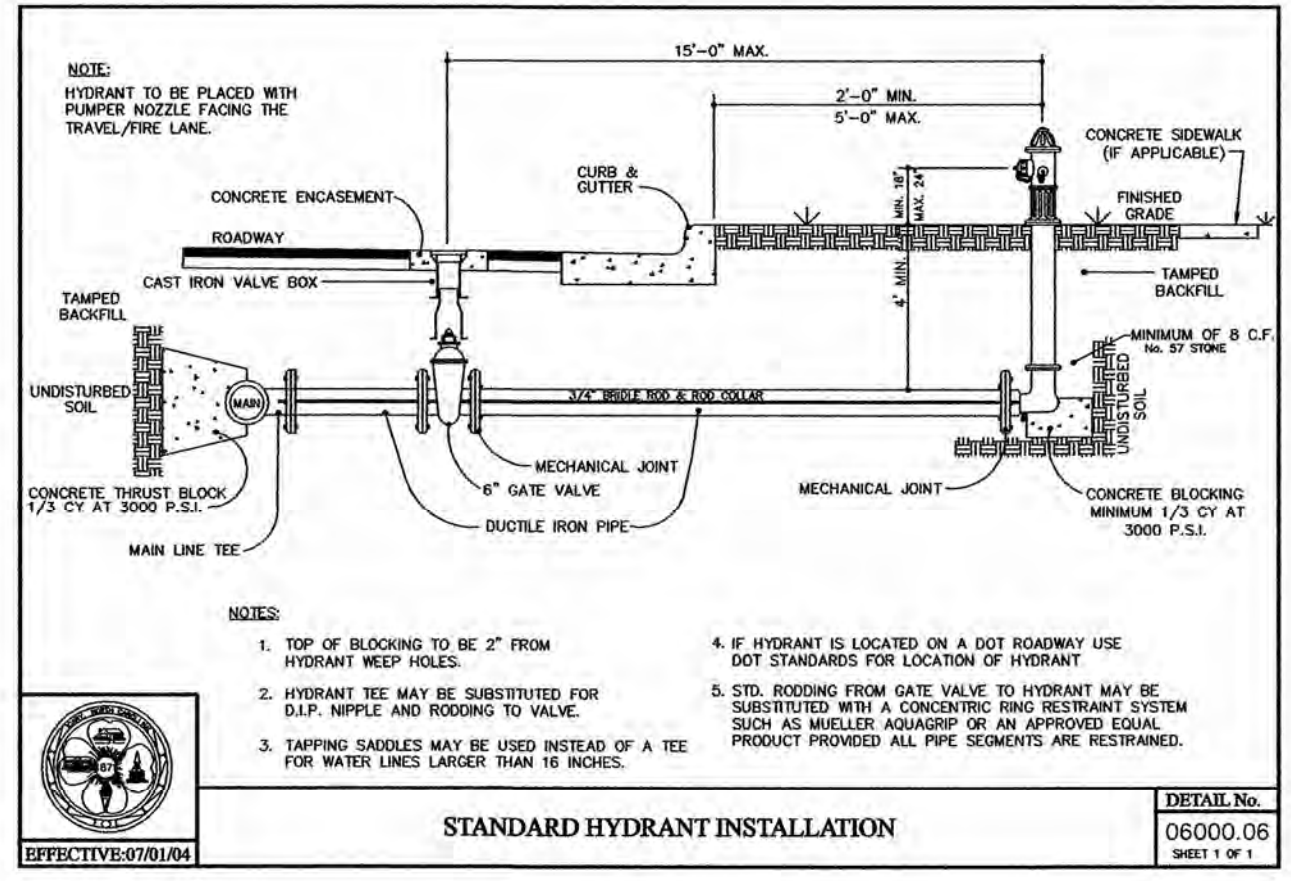
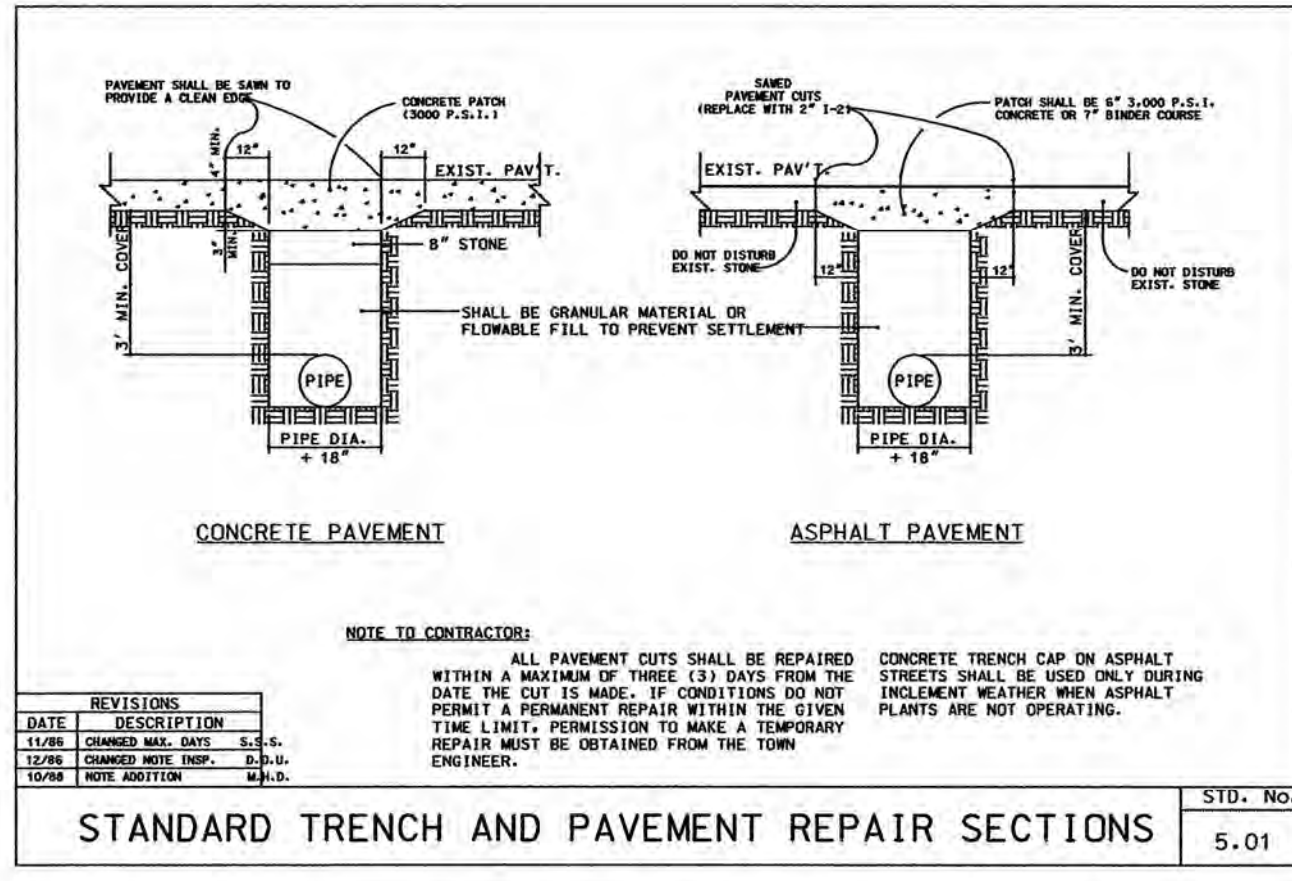
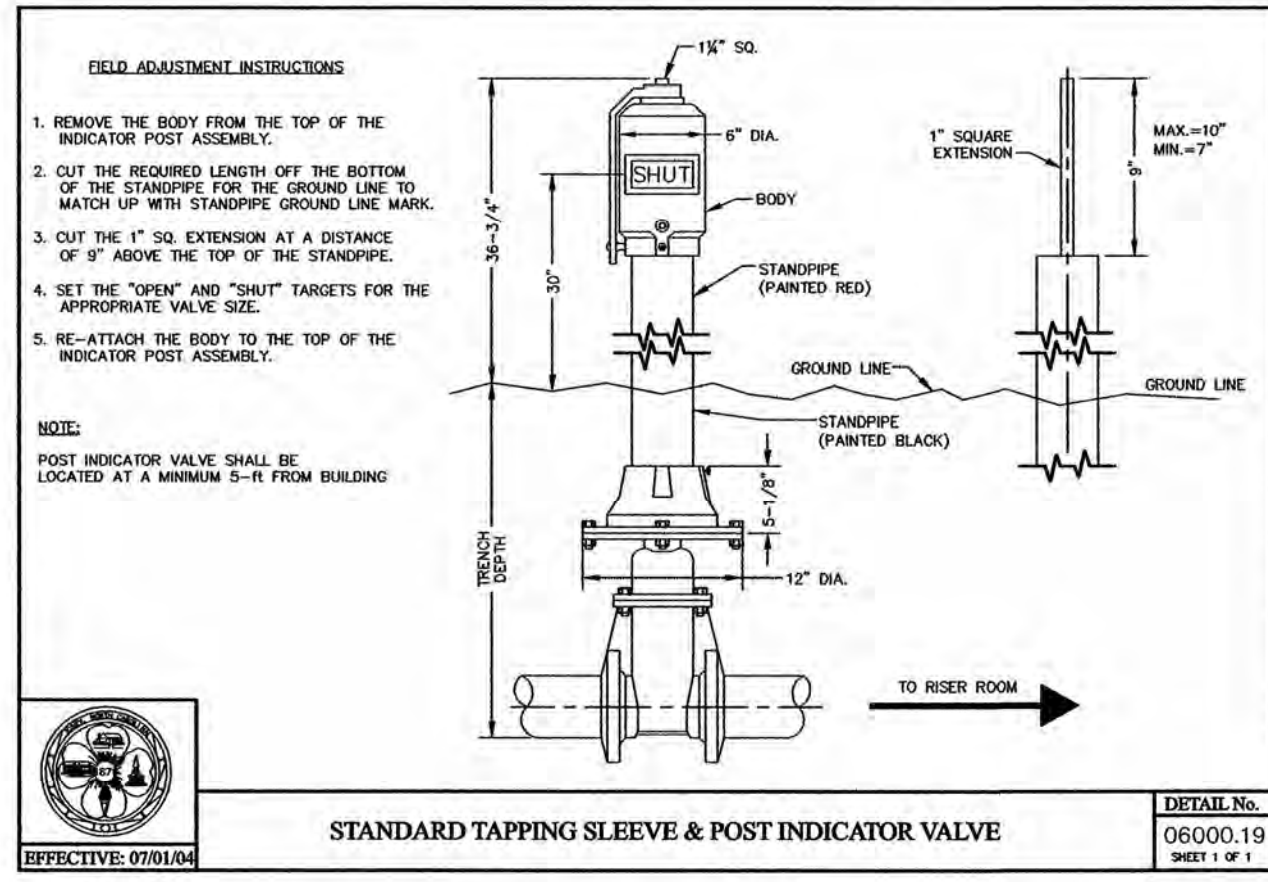
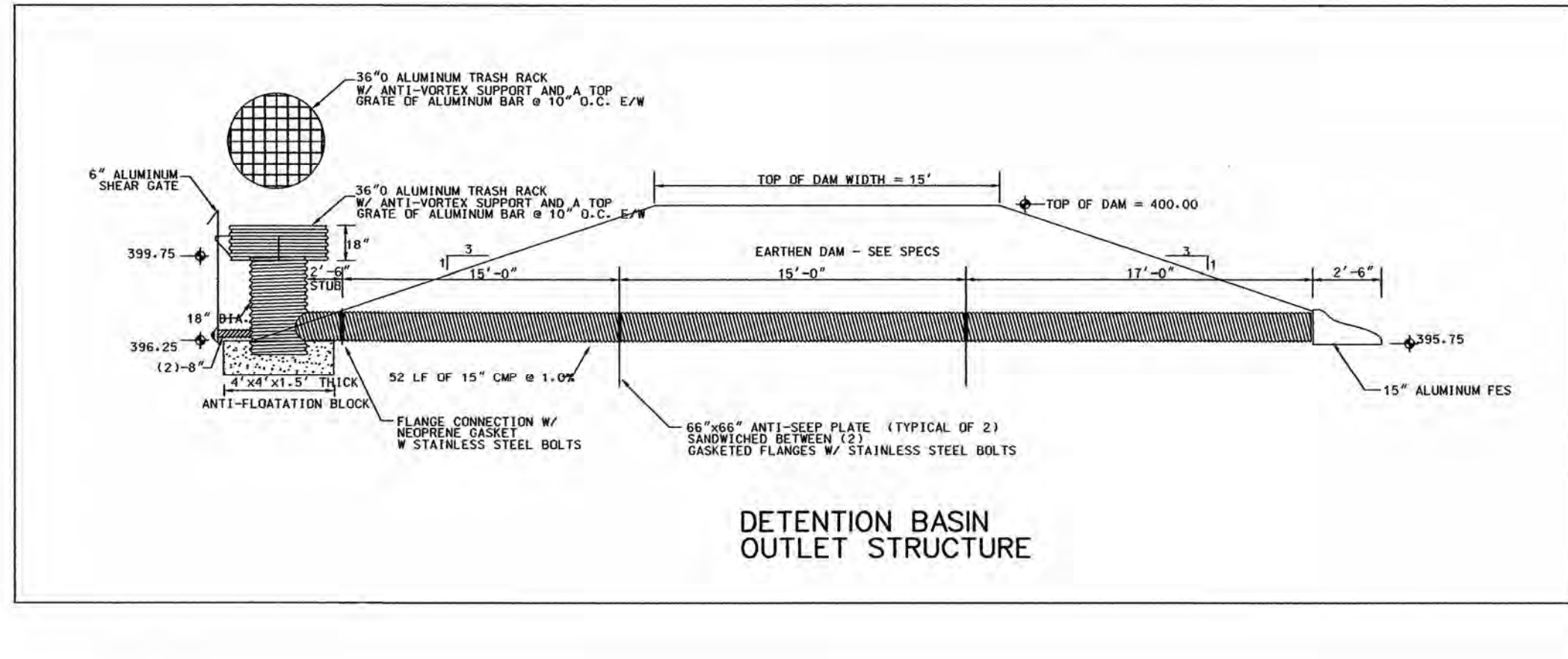
REVISED: 7-16



STANDARD REACTION BLOCKING

MINIMUM CONCRETE BLOCKING (C.Y.)	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"
1/2"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
3/4"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
1"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
1 1/4"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
1 1/2"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
1 3/4"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
2"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
2 1/4"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
2 1/2"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
2 3/4"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2
3"	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2	1/2

REVISED: 6-13



TTA

ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
CARY, NORTH CAROLINA

COMPLETE FACILITIES SOLUTIONS

MOSER MAYER PHOENIX ASSOCIATES, PA

328 E. Market Street
Suite 200
Greensboro, N.C. 27401
Telephone 336-373-9800
Fax 336-373-0077

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PO Box 23127
RALEIGH, N.C. 27636
(919) 851-1918
(919) 851-1918 (FAX)
WWW.MULKEYING.COM

CHIEF ENGINEER
MICHAEL D. HALL

REVISIONS

NO.	DATE	DESCRIPTION
1	04-28-06	FINAL CONSTRUCTION DRAWINGS

DATE: 06-09-06
PROJECT NO.: 200504100
SCALE: 1"=60'
DRAWN BY: CMW

DETAILS

Cary Project Number 05-SP-98
APPROVED TOWN OF CARY

D-1



ADDITIONS TO MAINTENANCE FACILITY

NELSON ROAD
CARY, NORTH CAROLINA



MOSER MAYER PHOENIX ASSOCIATES, PA.
328 E. Market Street, Suite 200
Greensboro, N.C. 27401
Telephone 336-373-9800
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ASSOCIATES, PA

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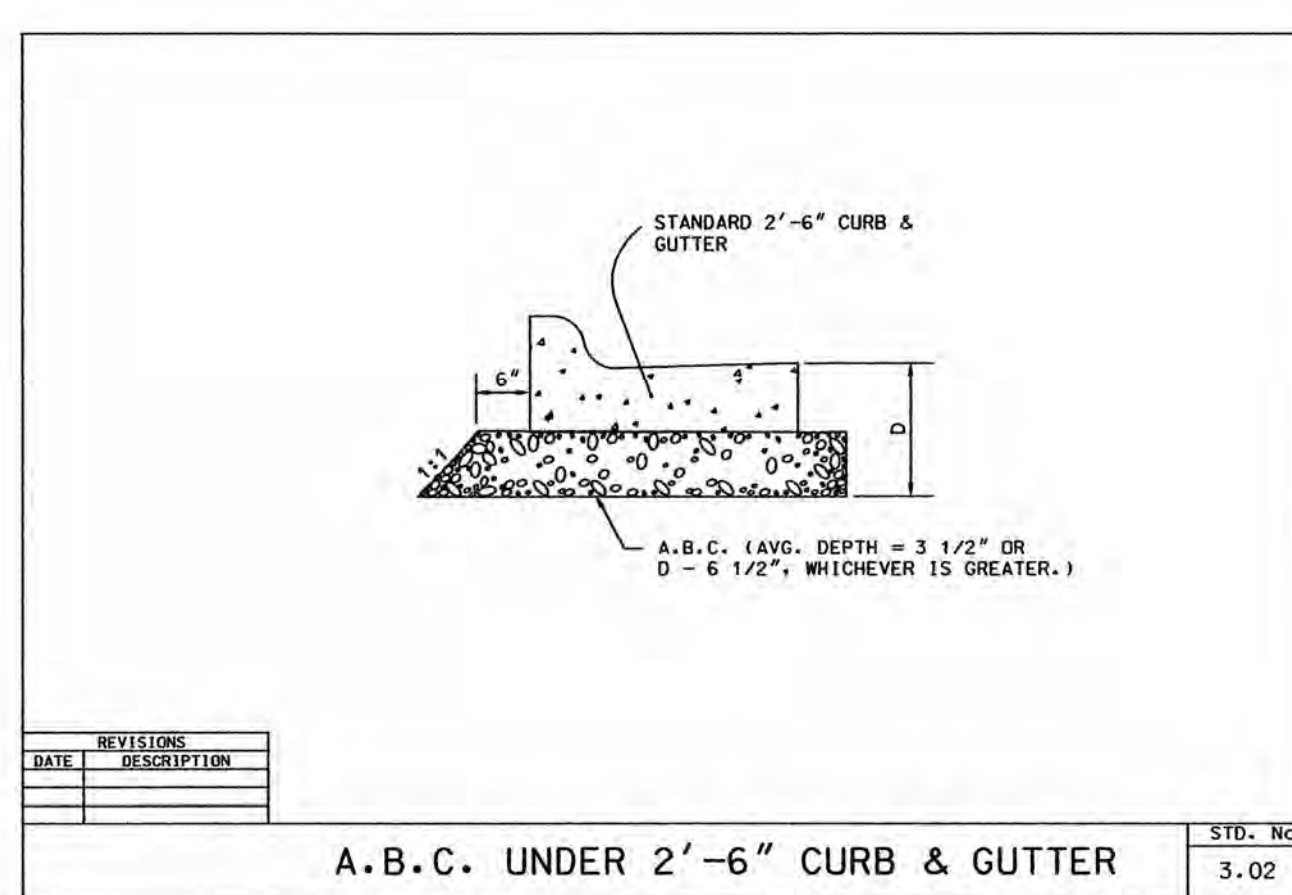
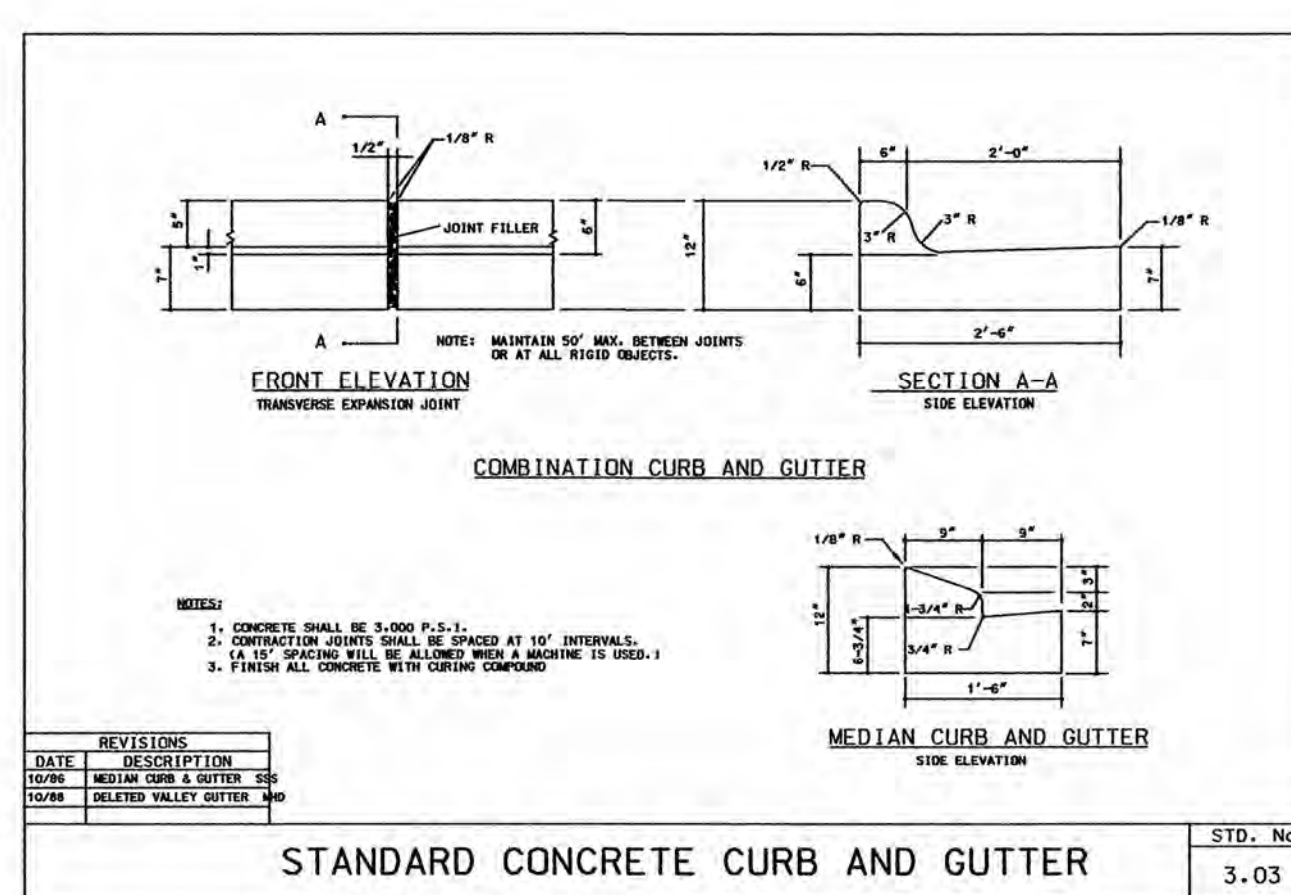
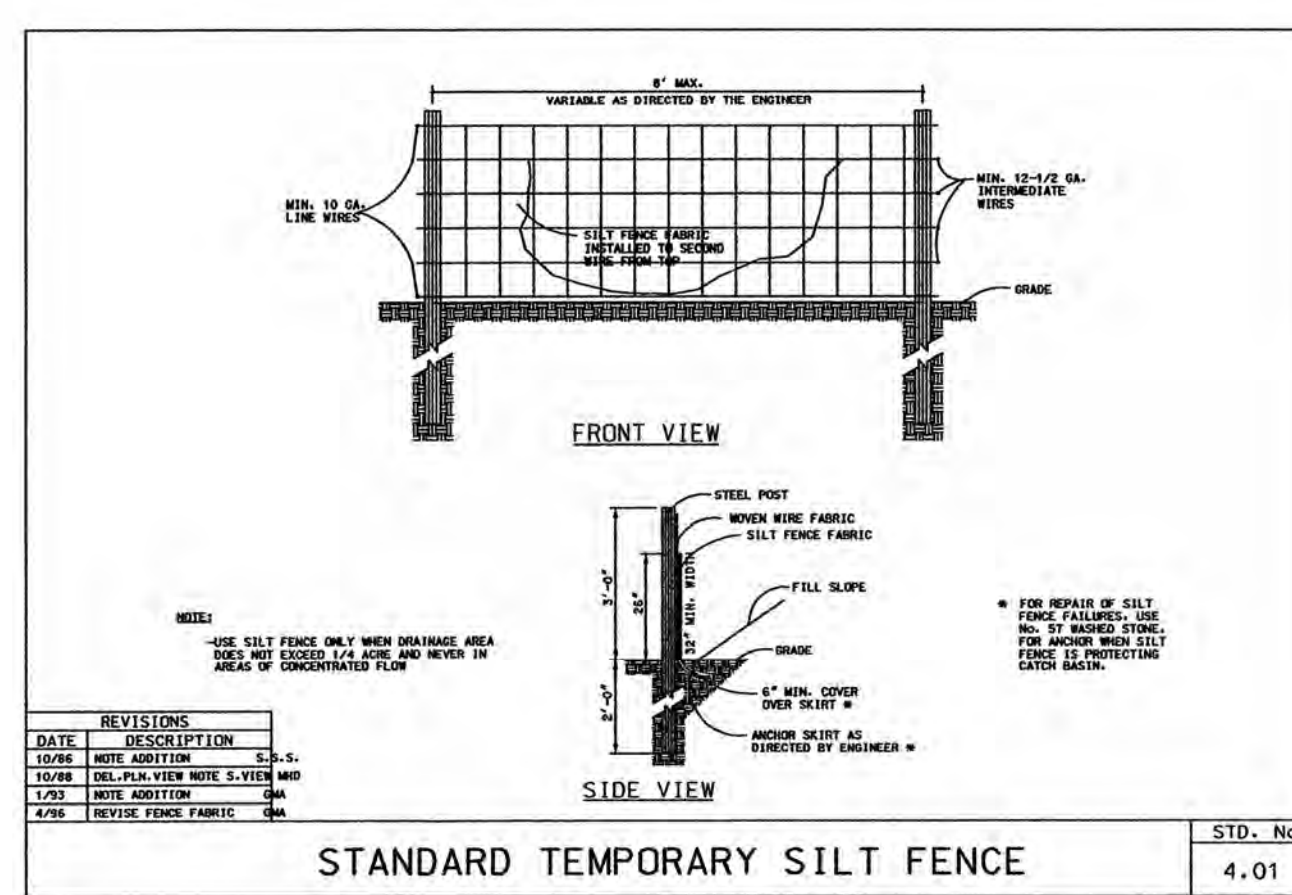


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DRAWN BY: CMW

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Cary Project Number 05-SP-98
APPROVED
TOWN OF CARY



NOTE: ALL STORM DRAINAGE FRAMES, GRATES AND HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF CARY STANDARDS.

CONSTRUCTION SEQUENCE

- OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION ENTRANCES(S), SILT FENCE, TREE PROTECTION FENCE, INSTALLATION OF DETENTION POND, AND/OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN AND ANY SPECIAL CONDITIONS NOTED IN "LETTER OF APPROVAL."
- CALL THE TOWN OF CARY FOR ON SITE INSPECTION BY THE SEDIMENTATION AND EROSION CONTROL OFFICE AND NOTIFICATION OF COMMENCEMENT OF CONSTRUCTION.
- BEGIN CLEARING, GRUBBING, AND GRADING. MAINTAIN MEASURES AS REQUIRED. STRIP EXISTING TOPSOIL AND SET ASIDE FOR USE DURING SEEDBED PREPARATION.
- GRADED SLOPES AND FILLS ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER SUFFICIENT TO RESTRAIN EROSION WITHIN 21 CALENDAR DAYS AFTER THE COMPLETION OF ANY PHASE OF GRADING. ALL AREAS UPON WHICH NO FURTHER LAND DISTURBING ACTIVITY WILL BE UNDERTAKEN ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER WITHIN 15 WORKING, OR 90 CALENDAR DAYS OF PROJECT COMPLETION.
- AS CONSTRUCTION PROGRESSES, INSTALL PERMANENT EROSION CONTROL MEASURES AS SUCH AS RIP RAP APRONS, CHECK DAMS, CHANNEL LINERS, GRAVEL BASE CONTROL OFFICE.
- INSTALL STORM DRAINAGE PIPE AND APPURTENCES AND PROTECT WITH TEMPORARY SILT PROTECTION.
- PERFORM GRADING OPERATIONS TO MINIMIZE DISTURBED AREAS.
- MAINTAIN ALL SEDIMENT CONTROL DEVICES IN PROPER WORKING ORDER AND CLEAN TRAPS AND BASINS WHEN HALF FULL.
- WHEN CONSTRUCTION IS COMPLETE, FRAME & GRATE IS TO REMAIN IN PLACE. POND IS TO BE GRADED TO FINAL DESIGN CONFIGURATION TO FUNCTION AS A BIORETENTION POND.
- CONSTRUCT FILL SLOPES AND RETAINING WALLS. ALL CONSTRUCTED SLOPES 2'H:1'V AND STEEPER REQUIRE GEOGRID STABILIZATION. INSTALL STORM SEWER PIPES AS FILL REACHES ALONG THE LINE OF PIPE INVERT.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, CALL FOR ON SITE INSPECTION BY THE SEDIMENTATION AND EROSION CONTROL OFFICE.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, ETC., AND SEED, PAVE, OR RIP RAP RESULTING DISTURBED AREAS.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION, IF THE SITE IS APPROVED, THE PERFORMANCE BOND, IF REQUIRED, WILL BE RELEASED.

